



160 118TH AVE SE - BELLEVUE, WA 98005



SHEET INDEX G101 COVER SHEET T100 SITE SURVEY **ARCHITECTURAL** SD100 SD100 SITE KEY PLAN & DETAILS SP100 SP100 SITE PLAN AT GROUND FLOOR LEVEL SP101 SP101 AVERAGE GRADE PLANE CALCULATION SP102 SP102 SITE GRADING PLAN A100 A100 FOUNDATION PLAN A101 A101 PARTIAL FOUNDATION PLAN A102 A102 PARTIAL FOUNDATION PLAN A103 A103 PARKING LEVEL 0-PLAN A104 A104 PARTIAL PARKING LEVEL 0-PLAN A105 A105 PARTIAL PARKING LEVEL 0-PLAN A106 A106 MAIN LEVEL 1-FLOOR PLAN

GENERAL

A107 A107 PARTIAL MAIN LEVEL 1-FLOOR PLAN A108 A108 PARTIAL MAIN LEVEL 1-FLOOR PLAN A109 A109 UPPER LEVEL 2-FLOOR PLAN A110 A110 PARTIAL LEVEL 2-FLOOR PLAN **A111** A111 PARTIAL LEVEL 2-FLOOR PLAN A112 A112 UPPER LEVEL 3-FLOOR PLAN A113 PARTIAL LEVEL 3-FLOOR PLAN A114 A114 PARTIAL LEVEL 3-FLOOR PLAN A115 A115 ROOF ROOF LEVEL 4-PLAN

A116 A116 PARTIAL ROOF LEVEL 4-PLAN A117 A117 PARTIAL ROOF LEVEL 4-PLAN A200 A200 BUILDING SECTIONS

A201 A201 PARTIAL BUILDING SECTIONS A202 A202 PARTIAL BUILDING SECTIONS

A305 A305 PARTIAL SOUTH ELEVATIONS A306 A306 PARTIAL SOUTH ELEVATIONS

ELECTRICAL/MECHANICAL

A300 A300 NORTH & WEST BUILDING ELEVATIONS A301 A301 SOUTH & EAST BUILDING ELEVATIONS A302 A302 PARTIAL NORTH ELEVATIONS A303 PARTIAL NORTH ELEVATIONS

L100 L100 LANDSCAPING & EXTERIOR LIGHTING PLAN

A203 A203 BUILDING SECTIONS A204 A204 BUILDING SECTIONS A205 A205 BUILDING SECTIONS

A304 A304 WEST ELEVATION

A307 A307 EAST ELEVATION

LANDSCAPE

CIVIL

STRUCTURAL

STATE OF WASHINGTON 04-27-23

PACIFIC HOMEWORKS **DAVID REED CAHILL ARCHITECT**

RESIDENTIAL &

COMMERCIAL

P.O. BOX 87

FREELAND, WA 98249

(206) 250-6014

DRAFTED: 09-20-2021

RY SITE I PER PO:

GENERAL NOTES FURNISH AND INSTALL ALL LABOR, MATERIALS, TOOLS, DUMPSTERS, PERMITS, ETC. TO PROVIDE A COMPLETE AND FINISHED INSTALLATION PER THESE CONTRACT DOCUMENTS AND WHERE SOMETHING IS NOT SPECIFIED, PER THE MOST STRINGENT INDUSTRY

WORKMANLIKE MANNER, AND IN ACCORDANCE WITH INDUSTRY STANDARDS AND MECHANICAL, PLUMBING AND ELECTRICAL SHALL BE DESIGN-BUILD AND SHALL MEET ALL FEDERAL, STATE AND LOCAL GOVERNING REGULATIONS.

DO NOT SCALE DRAWINGS FOR DIMENSIONAL INFORMATION. CONTACT ARCHITECT FOR

ALL WORK SHALL BE PERFORMED BY QUALIFIED AND SKILLED WORKERS, IN A NEAT AND

ANY DISCREPANCIES OR CLARIFICATIONS. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE OF FINISH FOR NEW AND

STANDARDS AND CODE REQUIREMENTS.

EXISTING WALLS. ALL PARTS OF THE WORK - INCLUDING MATERIALS, METHODS, ASSEMBLIES, ETC, MUST

COMPLY WITH THE MINIMUM REQUIREMENTS OF THE GOVERNING REGULATIONS OF ALL FEDERAL, STATE, DISTRICT AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT AS WELL AS THOSE GREATER REQUIREMENTS INDICATED BY THE CONTRACT DOCUMENTS. NO PART OF THE CONTRACT DOCUMENTS MAY BE CONSTRUED TO REQUIRE OR PERMIT WORK CONTRARY TO A GOVERNING REGULATION. WHERE THERE IS A DISCREPANCY BETWEEN THE GOVERNING CODE AND THE DRAWINGS, THE MOST RESTRICTIVE CASE SHALL GOVERN. IN SUCH CASE, CONSULT WITH ARCHITECT PRIOR TO CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS RELATING TO

THEIR WORK, AND SHALL OBTAIN ALL FIELD APPROVALS ON THEIR WORK FROM REGULATING AGENCIES WHERE REQUIRED. OBTAIN ALL FIELD APPROVALS ON WORK FROM REGULATING AGENCIES WHERE REQUIRED.

GENERAL CONTRACTOR SHALL COORDINATE BETWEEN VARIOUS TRADES FOR ROUGH-IN

GENERAL CONTRACTOR SHALL PROVIDE A SCHEDULE TO OWNER, ARCHITECT, ENGINEER

AND SUB-CONTRACTORS PRIOR TO THE START OF CONSTRUCTION OPERATIONS.

PROVIDE SHORING, BRACING, UNDERPINNING AND ANY OTHER MEANS REQUIRED TO PROTECT THE SAFETY, INTEGRITY AND STABILITY OF ALL NEW AND EXISTING CONSTRUCTION.

ACTUAL CONDITIONS MAY VARY FROM WHAT IS SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS AND COORDINATING ANY CHANGES WITH ARCHITECT.

DURING CONSTRUCTION, CONTRACTOR SHALL ENSURE THAT ALL PATHS OF EGRESS ARE FREE OF CONSTRUCTION MATERIALS, DEBRIS, TOOLS, ETC. THROUGHOUT THE DURATION

VERIFY THE SIZES, LOCATIONS, ELEVATIONS AND DETAILS OF EXISTING CONDITIONS THAT AFFECT THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN DIMENSIONS,

SIZES, LOCATIONS AND CONDITIONS BEFORE PROCEEDING WITH THE WORK. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR FROM CABINET AND EQUIPMENT CLEARANCES PRIOR TO WALL ERECTION.

GENERAL CONTRACTOR TO CONFIRM EQUIPMENT REQUIREMENTS WITH OWNER PRIOR TO

INSTALLATION OF UTILITIES, WALLS, AND CABINETS.

CONTRACTOR SHALL ASSIST THE OWNER WITH STORE EQUIPMENT TO PREPARE A DELIVERY STAGING AREA. COORDINATE WITH OWNER FOR THE DELIVERY SCHEDULE AND SHIPPING DAMAGES, AS APPLICABLE.

PROVIDE THOROUGH CLEANUP OF ENTIRE SCOPE OF WORK AND ANY SURROUNDING

LEAVE JOB SITE BROOM CLEAN AT THE END OF EACH WORKING DAY'S OPERATIONS. PROVIDE ALL TEMPORARY PROTECTION MEASURES REQUIRED TO ENSURE CONTROL OF DUST TRANSMISSION THROUGHOUT THE PROJECT TO PROTECT CUSTOMERS AND

GENERAL CONTRACTOR TOP OF ISLAND CENTERLINE **GLASS** TOP OF DIAMETER OF ROUND GR. GRADE TOW TOP OF WALL POUND OR NUMBER **GRADE BREAK** TOP OF PAVEMENT **GALVANIZED SHEET METAL EXISTING** GSM TOP OF SLAB TOP OF WALK GYP. RELOCATED GYPSUM H.A. **HOSE BIBB TYPICAL** UNFINISHED **ANCHOR BOLT** HDWE. **HARDWARE** ABOVE FINISH FLOOR H.M. **HOLLOW METAL** U..N. UNLESS OTHERWISE NOTED HORIZ. AGGR. AGGREGATE HORIZONTAL VFRT VERTICAL ALUMINUM V.I.F. VERIFY IN FIELD HOUR **APPROX APPROXIMATE** HGT. HEIGHT WEST ARCH. **ARCHITECTURAL** INTERIOR ELEVATION WITH **ASPHALT INSIDE DIAMETER** WATER CLOSET INSUL WOOD INSULATION **BITUMINOUS** INTERIOR WATER HEATER BLDG. BUILDING JOINT WITHOUT **BLOCKING** LAMINATE WATERPROOF BLKG. LAVATORY WSCT. WAINSCOT BEAM BOT. **BOTTOM** LIP WEIGHT EDGE OF SWALE OR GUTTER WT. **BACK OF WALK** MAX. MAXIMUM MECH. CAB. MECHANICAL CABINET CEM. CEMENT MEMB. **MEMBRANE** CER. CERAMIC MFR. MANUFACTUREF CH **CEILING HEIGHT** MIN. MINIMUM C.I. CAST IRON MISC. MISCELLANEOUS **CONTROL JOINT** M.O. MASONRY OPENING MTD. CEILING MOUNTED MUL. CLR./CL. CLEAR MULLION COL. **COLUMN** NORTH CONC. CONCRETE N.I.C. NOT IN CONTRACT CONSTRUCTION NO. OR # NUMBER CONSTR. CONT. CONTINUOUS NOM. NOMINAL NOT TO SCALE N.T.S. CTSK. COUNTERSUNK CNTR. COUNTER N.W.D. NEW WALL TO DECK CTR. O.C. CENTER ON CENTER DEPT **DEPARTMENT** O.D. **OUTSIDE DIAMETER** DET. DETAIL OPNG. OPENING OPP. D.G. DOLLAR GENERAL **OPPOSITE** DIA. DIAMETER LEVEL PAVEMENT AT DISPENSER PIT DIMENSION **DISPENSER** PLATE P.LAM. PLASTIC LAMINATE DN. DOWN DOOR PLYWD. PLYWOOD DOWNSPOUT DOLLAR GENERAL PROJECT MANAGER P.O.C. DRAWING POINT OF CURVATURE DWG.

POINT OF SALE

ROOF DRAIN

REFERENCE

REINFORCED

ROUGH OPENING

SCOPE OF WORK

STAINLESS STEEL

SPECIFICATION

RIGHT OF WAY

REQUIRED

SCHEDULE

SECTION

SHEET

SIMII AR

SQUARE

STEEL

STANDARD

STORAGE

STRUCTURAL

SYMMETRICAL

TOP OF CURB

TOP OF GRATE

ROOM

GAUGE

GALVANIZED

T. & G.

TONGUE & GROOVE

THICK

G.A.

GALV.

P.O.S.

R.D.

REF.

RM.

R.O.

REINF.

REQ'D

R.O.W.

SECT.

SHT.

SIM.

S.O.W.

SPEC.

SQ.

S.ST.

STD.

STOR.

STRL.

SYM.

STL.

SCHED.

R OR RAD. RADIUS

ABBREVIATIONS

AND

ANGLE

EAST

EACH

EQUAL

FINISH

FLOOR

FLASH'G FLASHING

ELEVATION

ELECTRICAL

EXPANSION

FLOOR DRAIN

FLOOR FINISH

FOUNDATION

FINISH GRADE

FLUORESCENT

FACE OF FINISH

FACE OF STUDS

FLOOR SINK

FOOTING

FURRING

FUTURE

FOOT OR FEET

FACE OF CONCRETE

FIBERGLASS REINFORCED PANEL

EXTERIOR

EA.

ELEC

EXT.

FIN.

FLUOR.

F.O.F.

F.O.S.

F.S.

FTG.

FUT.

FURR.

SYMBOL LEGEND DETAIL CALLOUT KEYNOTE CALL OUT WINDOW TAG DOOR TAG COLUMN GRID LINE LEVEL DATUM REVISION DELTA # **EQUIPMENT TAG** WALL TYPE TAG # **FINISH TAG BUILDING / WALL SECTION** (AXXX ELEVATION CALLOUTS XXX ROOM NAME AND NUMBER

SCOPE OF WORK

PROVIDE LABOR, MATERIAL, EQUIPMENT AND MISCELLANEOUS PERMITS TO COMPLETE FACILITIES AS DELINEATED ON THE REFERENCE DRAWINGS. WORK TO INCLUDE, BUT NOT LIMITED TO THE FOLLOWING:

TITLE AND SCALE

. CONSTRUCTION OF A NEW CUSTOM MULTI-FAMILY RESIDENCE AND ALL SURROUNDING SITE ELEMENTS ON PROPERTY AS

DESCRIBED ON THESE SHEETS. 2. CONSTRUCTION OF UNDERGROUND UTILITIES, PARKING GARAGE, TRASH ENCLOSURE, RETAINING WALLS AND ALL RELATED SITE WORK INCLUDED IN THE REFERENCE DRAWINGS.

. ALL UTILITIES AND SITE ACCESS INSTALLATION BY CONTRACTOR. 4. CONTRACTOR TO PROTECT AND/OR REPAIR/REPLACE EXISTING LANDSCAPING. ANY DEAD LANDSCAPE REQUIRED TO BE REPLACED WILL BY MEYDENBAUER GROUP. CONTRACTOR TO DOCUMENT DEAD LANDSCAPING AND RECEIVE APPROVAL PRIOR TO REMOVING/REPLACING.

WORK TO BE PROVIDED BY OWNER AND OTHERS

DAVID REED CAHILL, ARCHITECT PROJECT SITE LLEVUE. WA 98005 MEYDENBAUER GROUP 12025 WILLOWS ROAD Sunrise Identity Wilburton Hill Park Seattle News Radio Station

PROJECT DATA

PROJECT ADDRESS 160 118TH AVE SE

BELLEVUE, WA 98005

VICINITY MAP

APPLICABLE CODES

2018 INTERNATIONAL RESIDENTIAL CODE 2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL MECHANICAL CODE 2018 UNIFORM PLUMBING CODE 2018 WASHINGTON STATE ENERGY CODE

2018 INTERNATIONAL FIRE CODE * APPLICABLE WASHINGTON STATE AMMENDMENTS

OCCUPANCY CLASSIFICATION: R-2 (RESIDENTIAL), U (PRIVATE GARAGE) CONSTRUCTION TYPE: V-N TOTAL LIVING AREA: 18,840 SF + TOTAL GARAGE /STO. AREA: 8,920 SF = 27,760 SF BLDG. TOTAL

FIRE SPRINKLER SYSTEM: YES PER BELLEVUE MUNICIPAL CODE SECTION

LAND USE ZONE: R-20 MULTI-FAMILY (ZERO LOT-LINE) TRANSITION ZONE OVERLAY PARCEL A NUMBER: 804610-0101

TOTAL SITE AREA: 18,870 SF (0.43 ACRES)

LEGAL DESCRIPTION: SEE ATTACHED

JURISDICTION: BELLEVUE BUILDING DEPARTMENT

ARCHITECT PACIFIC HOMEWORKS

rdcahill1@aol.com 206.250.6014 CONTRACTOR

PROJECT TEAM

REDMOND, WA 98052 425.609.4440 **ELECTRICAL**

PLUMBING

MECHANICAI

GEOTECH THE RILEY GROUP KRISTINA M. WELLER KWeller@riley-group.com

206.795.9128

FIRE SYSTEM MOORE FIRE DOUG ROBINSON doug@moorefire.com

425.271.5598

LAND RESOLUTIONS JEN HAUGEN jen@orcalsi.com 425.258.4438

TRAFFIC GIBSON TRAFFIC CONSULTANTS MATTHEW PALMER

mattp@gibsontraffic.com 425.339.8268

STRUCTURAL ENGINEER

ALEX K. MOROSEOS, PE, SE

alex12@cdengr.com

kam@cdengr.com

KYRIAKOS MOROSEOS

425.343.7517

CIVIL LDC

SANG PARK

206.388.8862

SURVEY

ARBORIST

BRIAN GILLES

425.822.4994

spark@ldccorp.com

DARREN J. RIDDLE

Darren@pcsurveys.net

GILLES CONSULTING

bkgilles@comcast.net

SCOTT HOLSAPPLE

scott@shd-la.com

206.228.5488

LAND USE

SCOTT HOLSAPPLE DESIGN

425.512.7099 EXT. 2112

PACIFIC COAST SURVEY

CUSTOM DESIGN & ENGINEERING INC.

DEFERRED SUBMITTALS

ARCHITECTURAL TRIM DETAILS

 ARCHITECTURAL TRIM DETAILS • PLUMBING / APPLIANCES / ROOM FINISH SCHEDULE

 MAIN FLOOR FINISHES AND COUNTERTOPS PLAN UPPER FLOOR FINISHES AND COUNTERTOPS PLAN Sheet Name

AREAS AFFECTED BY THE CONSTRUCTION OPERATIONS.

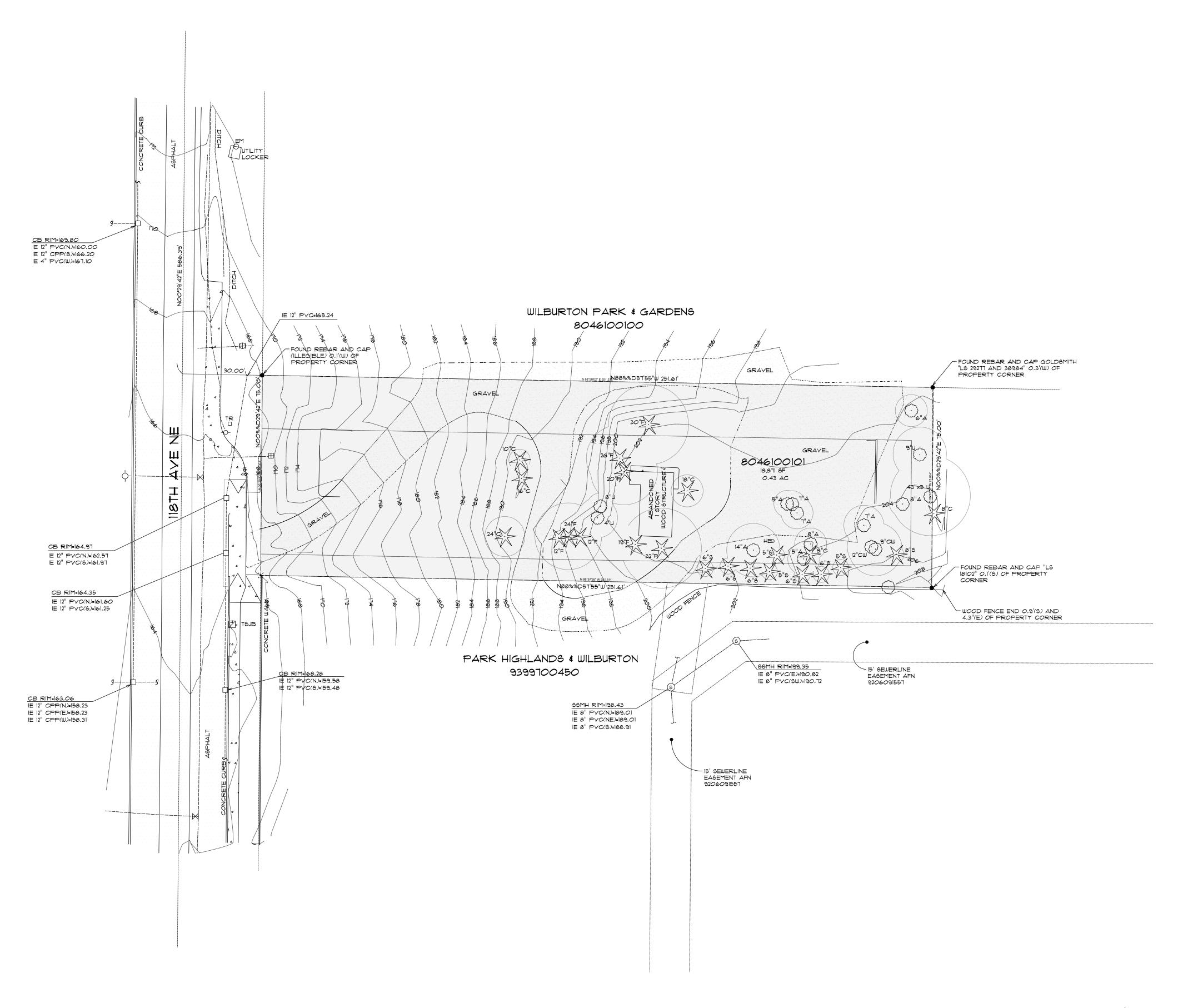
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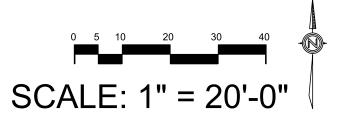
COVER

SHEET

Sheet Number



SITE SURVEY SCALE: 1" = 20'-0"



PACIFIC HOMEWORKS
DAVID REED CAHILL
ARCHITECT

RESIDENTIAL & COMMERCIAL

P.O. BOX 87 FREELAND, WA 98249 (206) 250-6014

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DRAFTED: 09-20-2021

W
TOWNHOMES

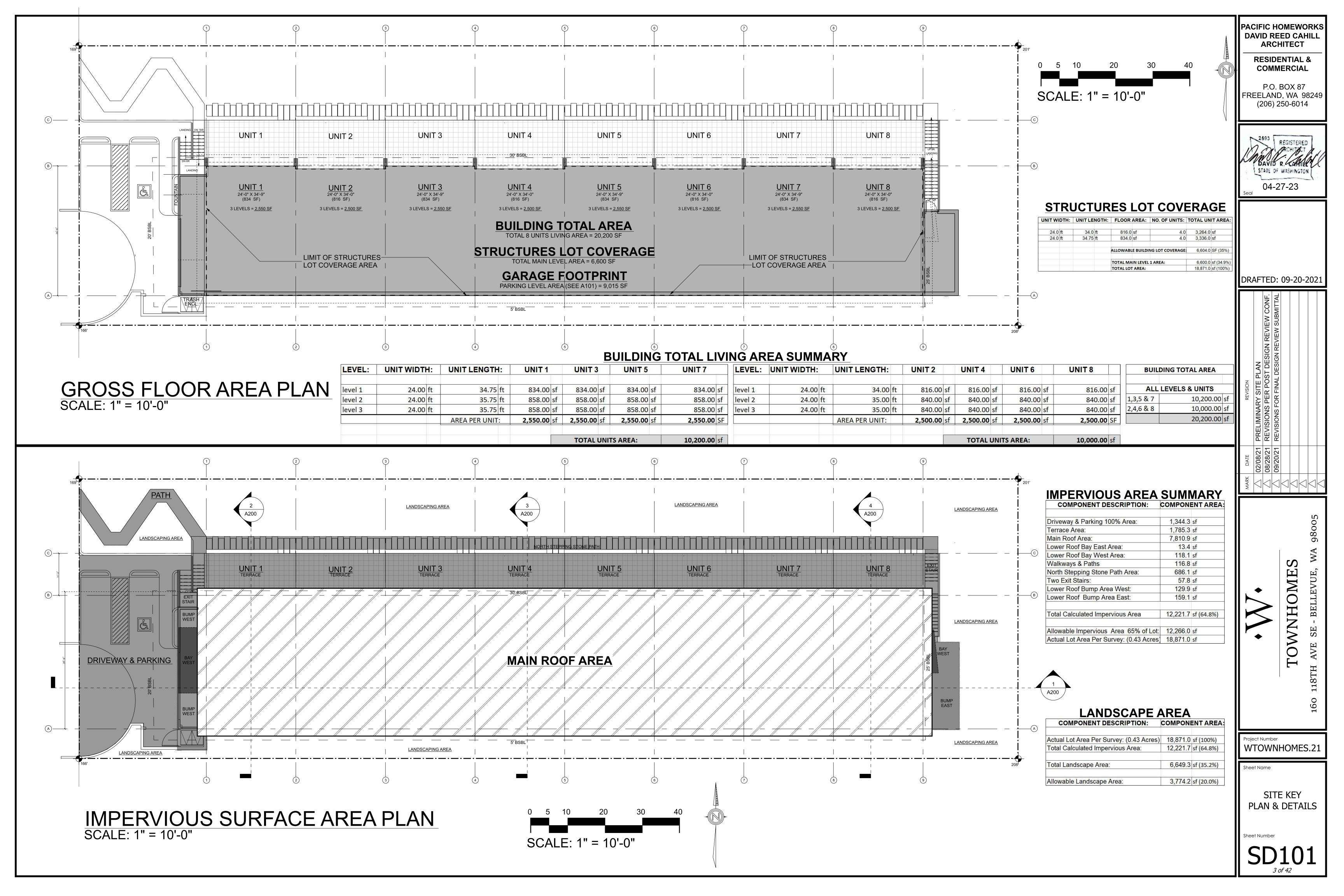
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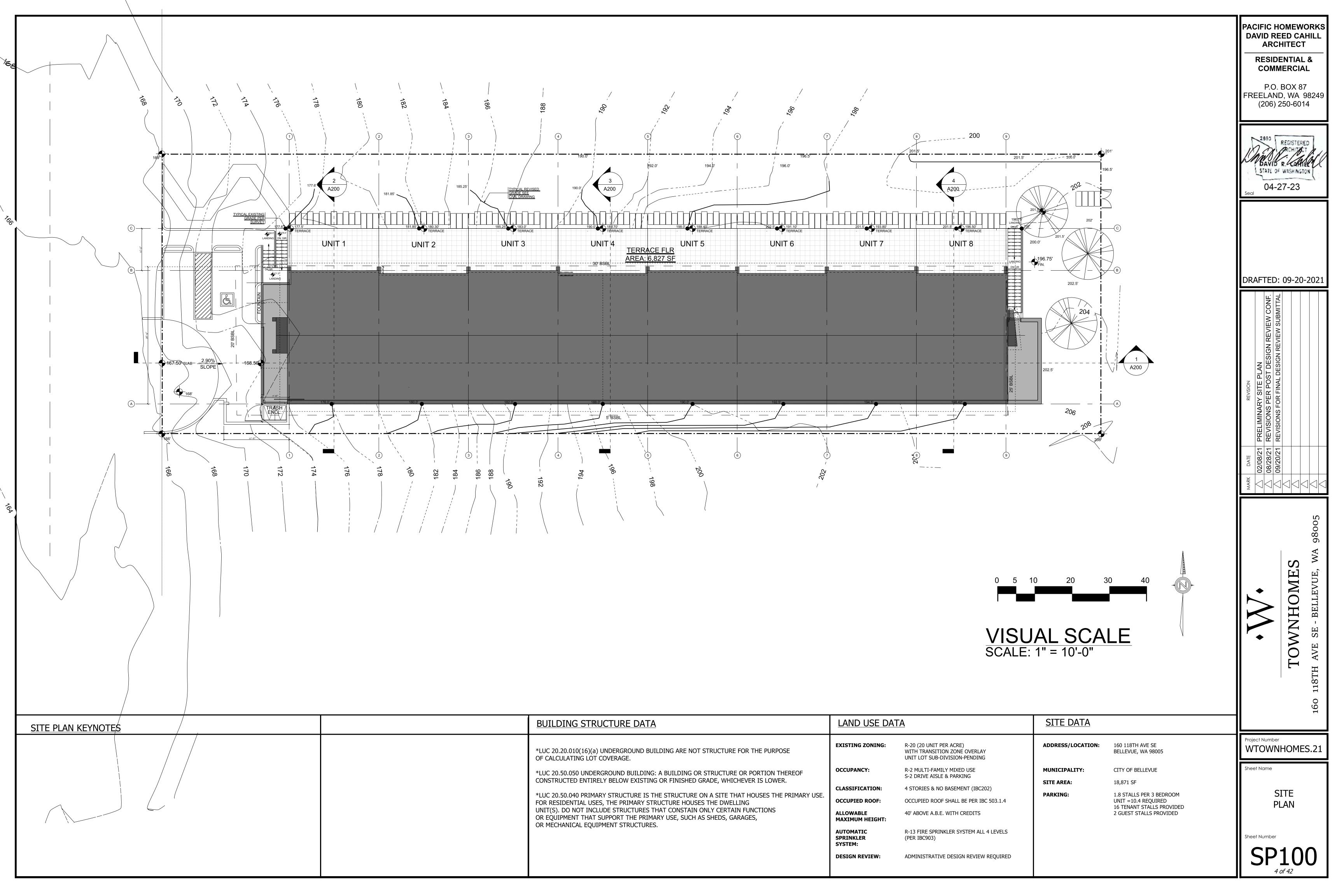
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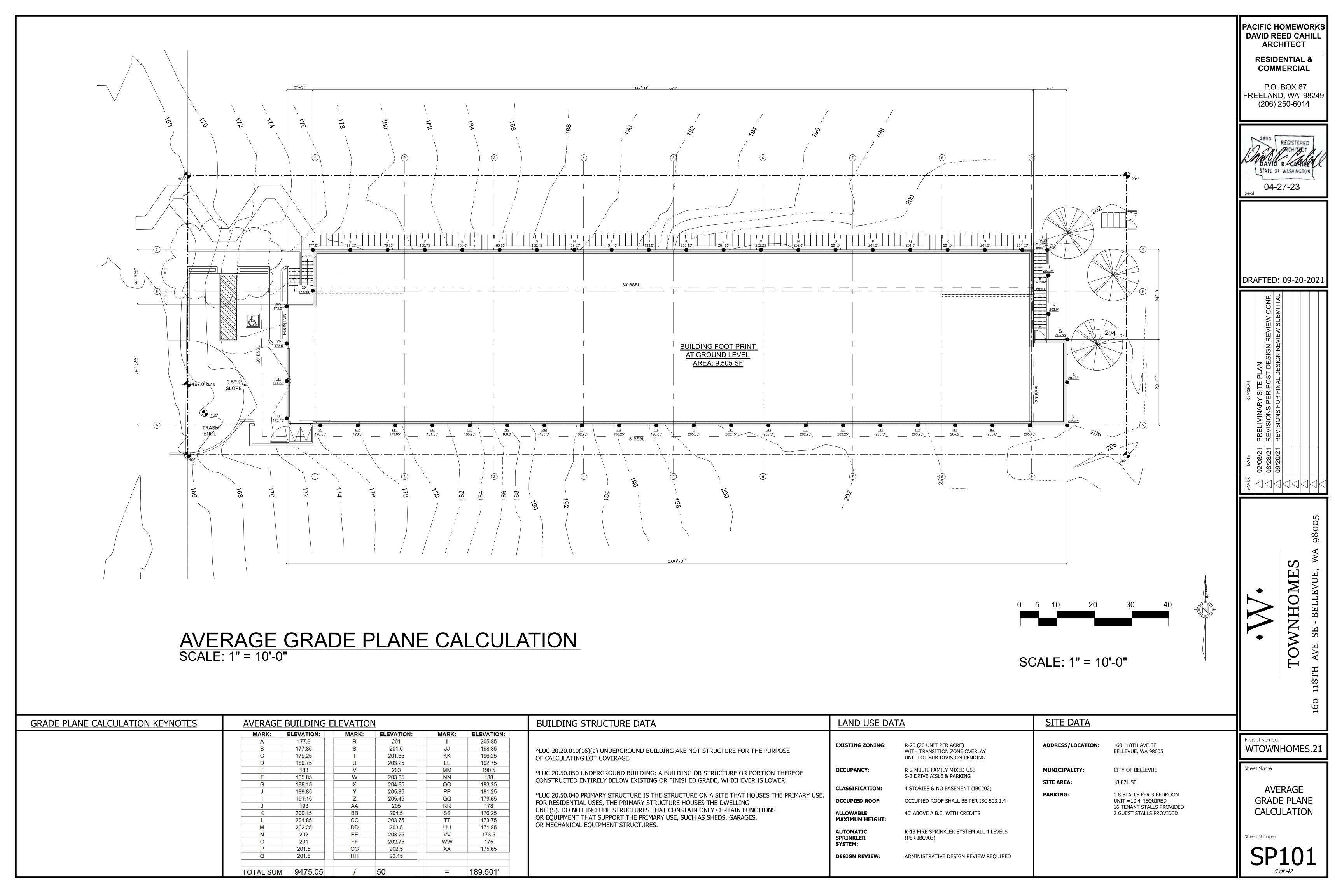
SITE SURVEY

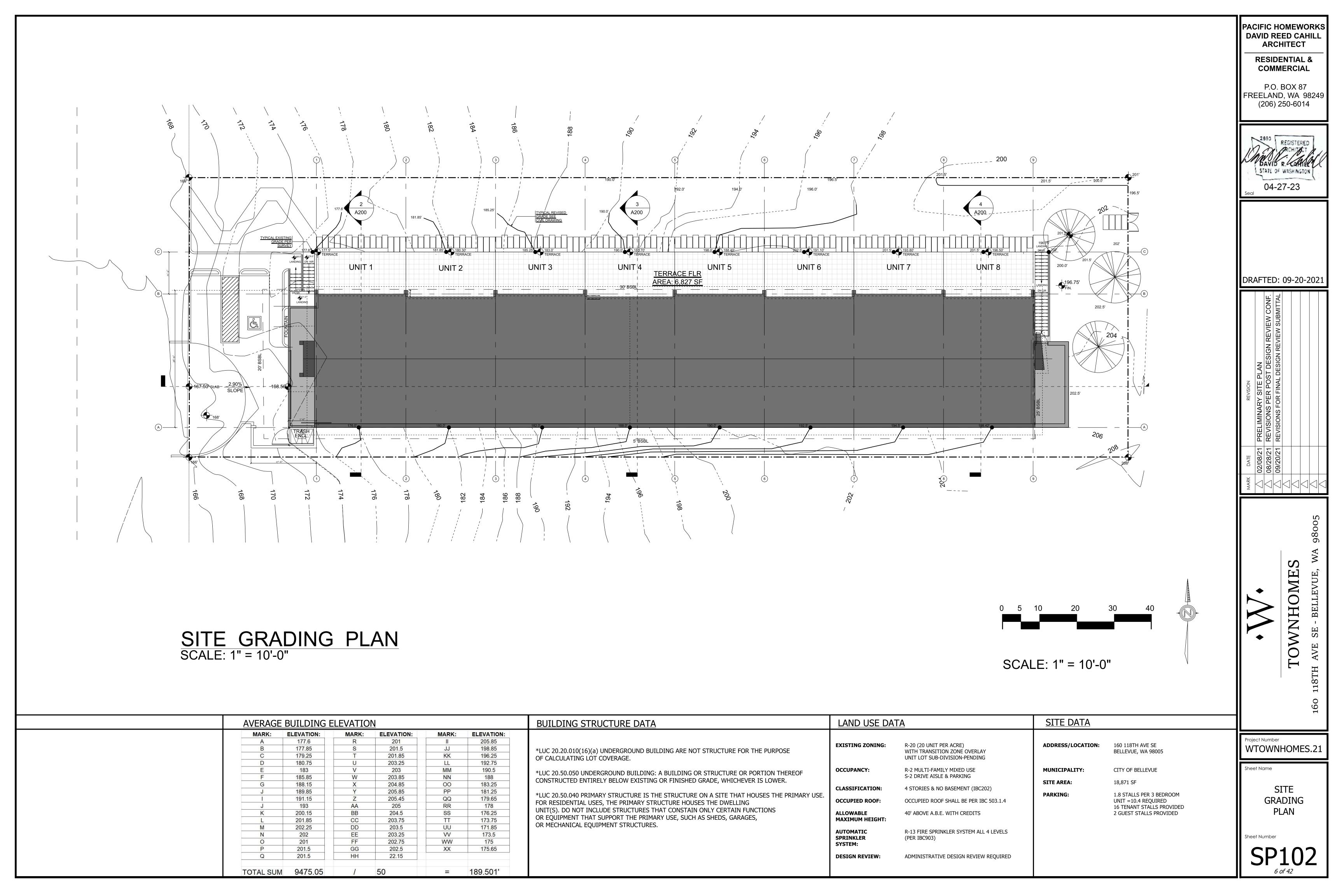
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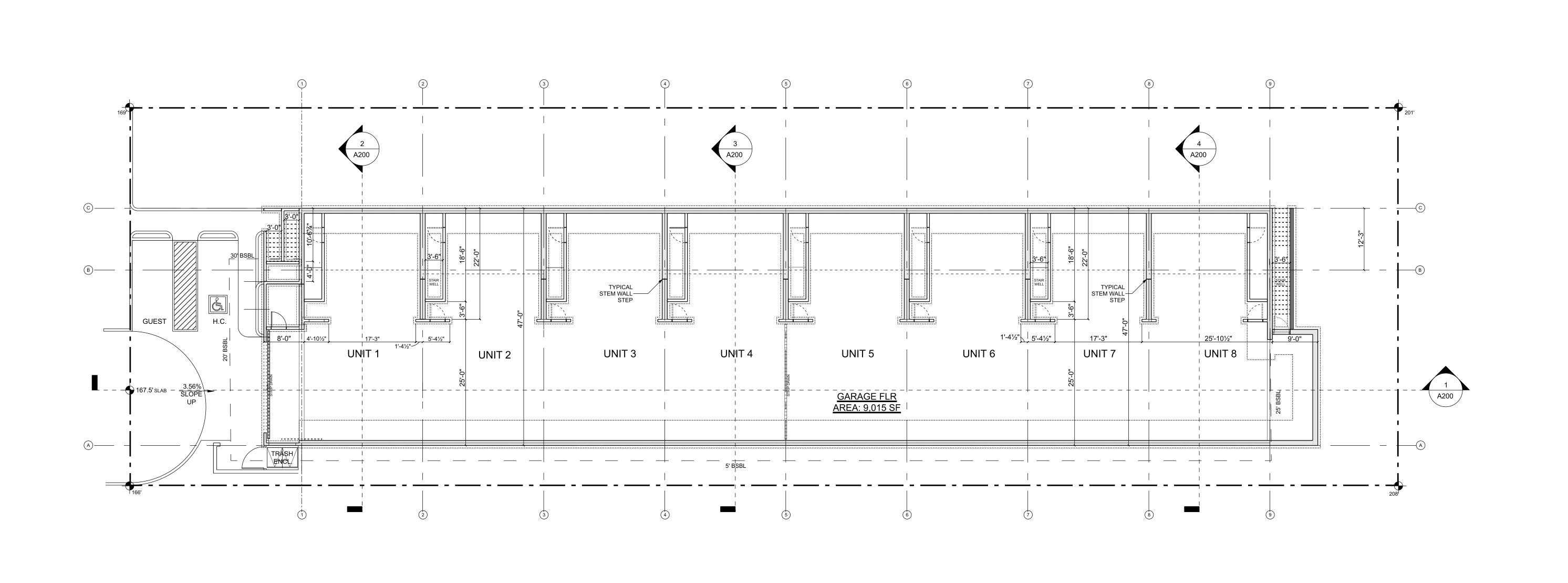
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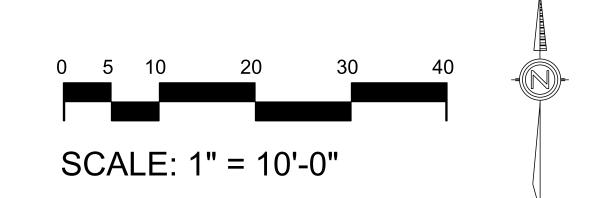








FOUNDATION PLAN
SCALE: 1" = 10'-0"



<u>AVERAGE</u>	BUILDING E	LEVATIO	N		
MARK:	ELEVATION:	MARK:	ELEVATION:	MARK:	ELEVATION:
Α	177.6	R	201	II	205.85
В	177.85	S	201.5	JJ	198.85
С	179.25	Т	201.85	KK	196.25
D	180.75	U	203.25	LL	192.75
E	183	V	203	MM	190.5
F	185.85	W	203.85	NN	188
G	188.15	X	204.85	00	183.25
J	189.85	Y	205.85	PP	181.25
<u>l</u>	191.15	Z	205.45	QQ	179.65
J	193	AA	205	RR	178
K	200.15	BB	204.5	SS	176.25
L	201.85	CC	203.75	TT	173.75
M	202.25	DD	203.5	UU	171.85
N	202	EE	203.25	VV	173.5
0	201	FF	202.75	WW	175
Р	201.5	GG	202.5	XX	175.65
Q	201.5	HH	22.15		
TOTAL SUM	9475.05	1	50	=	189.501'

*LUC $20.20.010(16)(a)$ UNDERGROUND BUILDING ARE NOT STRUCTURE FOR THE PURPOSE OF CALCULATING LOT COVERAGE.

BUILDING STRUCTURE DATA

*LUC 20.50.050 UNDERGROUND BUILDING: A BUILDING OR STRUCTURE OR PORTION THEREOF CONSTRUCTED ENTIRELY BELOW EXISTING OR FINISHED GRADE, WHICHEVER IS LOWER. *LUC 20.50.040 PRIMARY STRUCTURE IS THE STRUCTURE ON A SITE THAT HOUSES THE PRIMARY USE.

FOR RESIDENTIAL USES, THE PRIMARY STRUCTURE HOUSES THE DWELLING UNIT(S). DO NOT INCLUDE STRUCTURES THAT CONSTAIN ONLY CERTAIN FUNCTIONS OR EQUIPMENT THAT SUPPORT THE PRIMARY USE, SUCH AS SHEDS, GARAGES, OR MECHANICAL EQUIPMENT STRUCTURES.

LAND USE DATA **EXISTING ZONING:** R-20 (20 UNIT PER ACRE) WITH TRANSITION ZONE OVERLAY UNIT LOT SUB-DIVISION-PENDING

OCCUPANCY:

ALLOWABLE

AUTOMATIC

SPRINKLER SYSTEM:

DESIGN REVIEW:

MAXIMUM HEIGHT:

R-2 MULTI-FAMILY MIXED USE S-2 DRIVE AISLE & PARKING **CLASSIFICATION: OCCUPIED ROOF:**

4 STORIES & NO BASEMENT (IBC202) OCCUPIED ROOF SHALL BE PER IBC 503.1.4 40' ABOVE A.B.E. WITH CREDITS

R-13 FIRE SPRINKLER SYSTEM ALL 4 LEVELS (PER IBC903)

ADMINISTRATIVE DESIGN REVIEW REQUIRED

SITE DATA 160 118TH AVE SE ADDRESS/LOCATION: BELLEVUE, WA 98005

MUNICIPALITY: SITE AREA:

PARKING:

18,871 SF 1.8 STALLS PER 3 BEDROOM UNIT =10.4 REQUIRED 16 TENANT STALLS PROVIDED 2 GUEST STALLS PROVIDED

CITY OF BELLEVUE

WTOWNHOMES.21

PACIFIC HOMEWORKS DAVID REED CAHILL **ARCHITECT**

> **RESIDENTIAL &** COMMERCIAL

P.O. BOX 87 FREELAND, WA 98249 (206) 250-6014

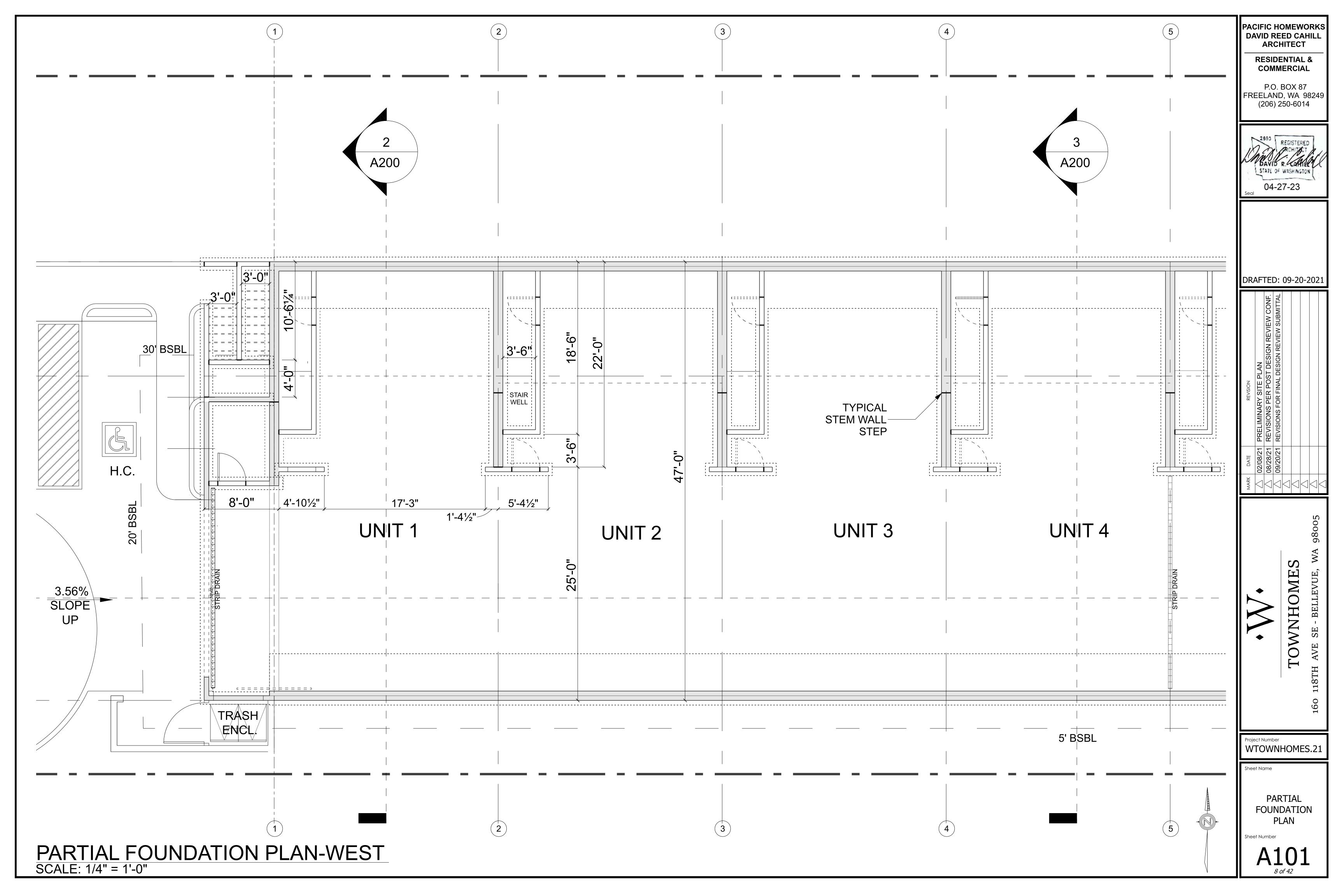
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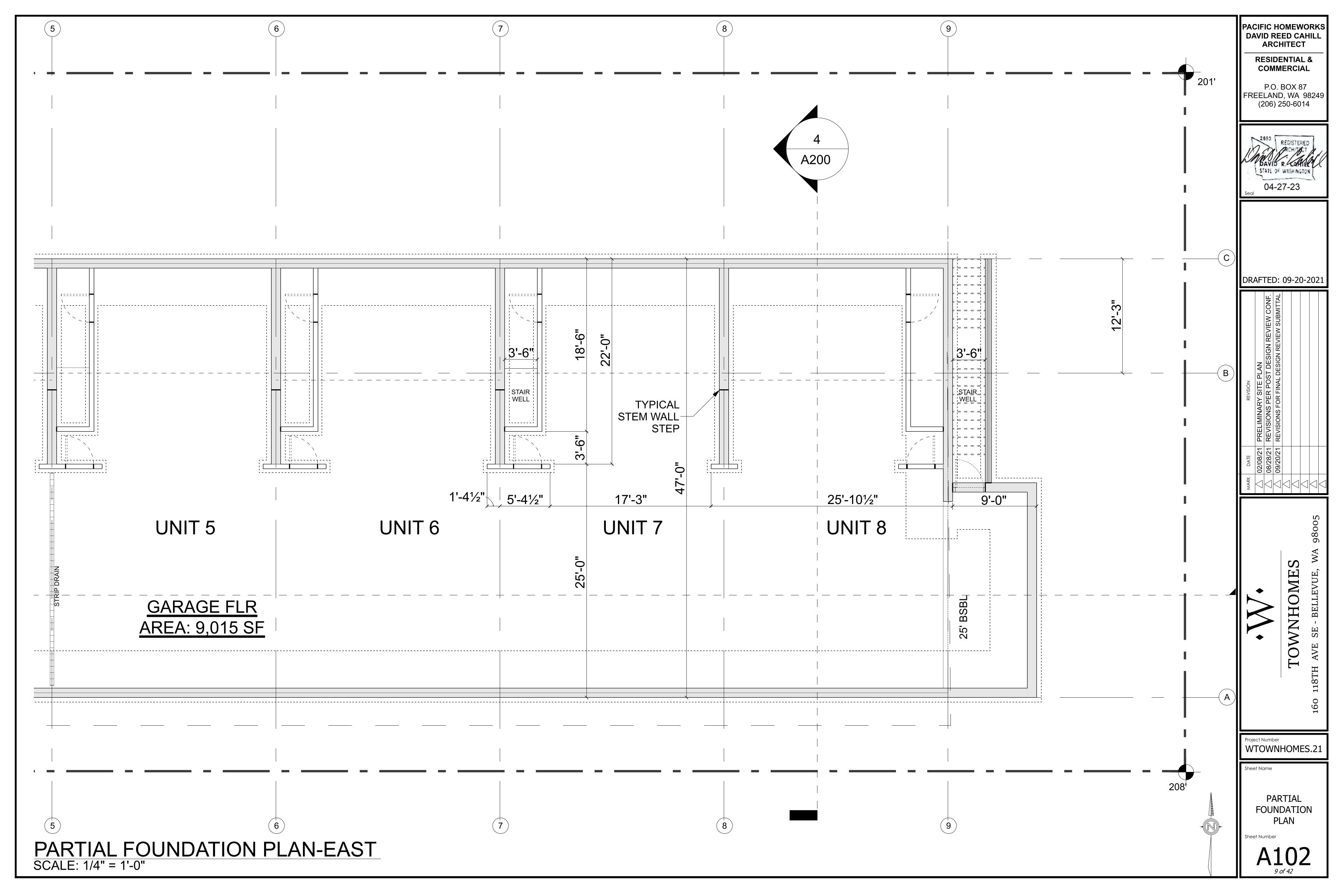
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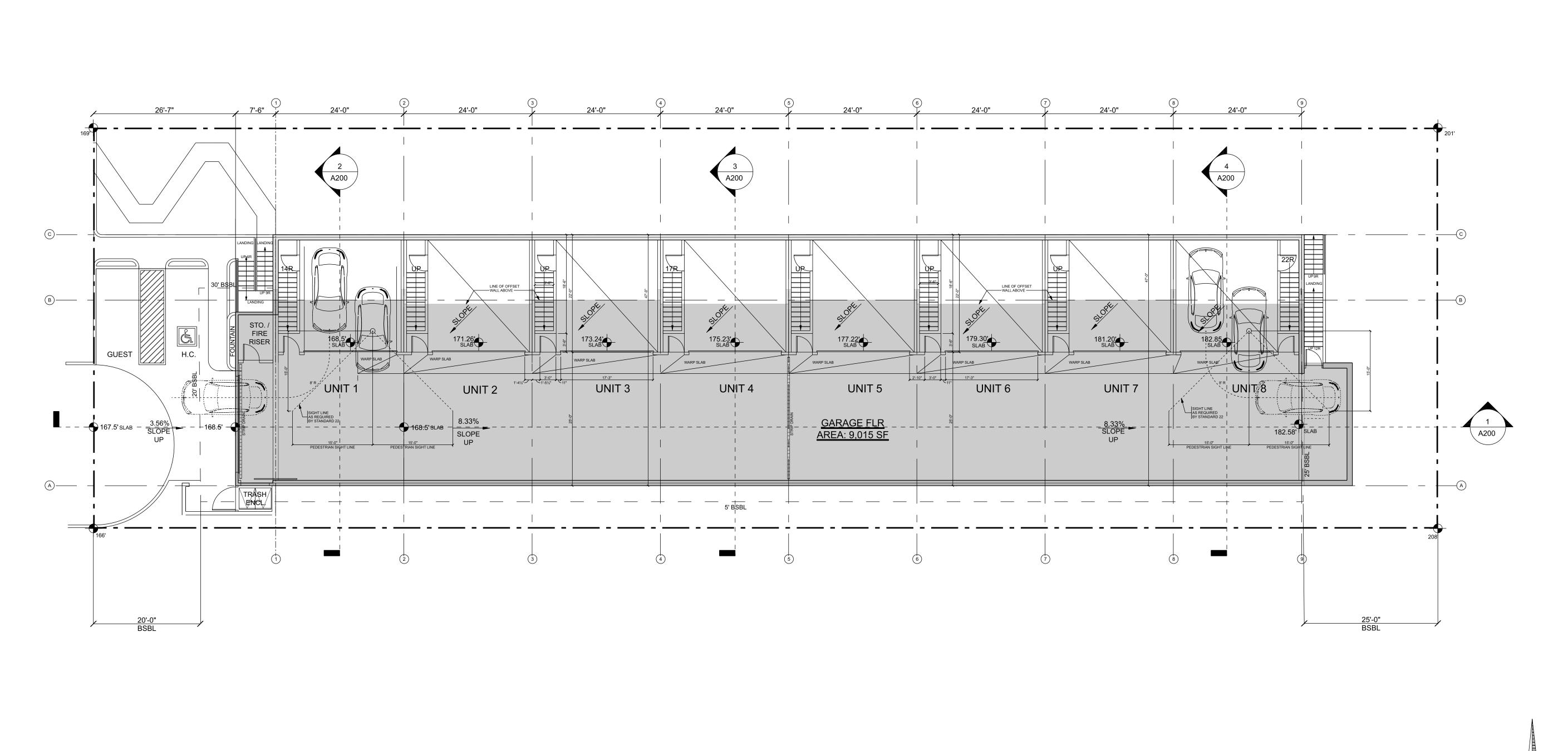
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FOUNDATION PLAN

Sheet Number

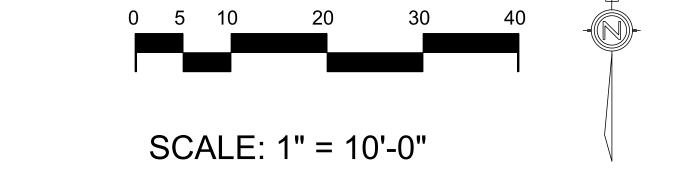








AVERAGE BUILDING ELEVATION



MARK:	ELEVATION:	MARK:	ELEVATION:	MARK:	ELEVATION:
Α	177.6	R	201	II	205.85
В	177.85	S	201.5	JJ	198.85
С	179.25	Т	201.85	KK	196.25
D	180.75	U	203.25	LL	192.75
E	183	V	203	MM	190.5
F	185.85	W	203.85	NN	188
G	188.15	X	204.85	00	183.25
J	189.85	Y	205.85	PP	181.25
<u>I</u>	191.15	Z	205.45	QQ	179.65
J	193	AA	205	RR	178
K	200.15	BB	204.5	SS	176.25
L	201.85	CC	203.75	TT	173.75
M	202.25	DD	203.5	UU	171.85
N	202	EE	203.25	VV	173.5
0	201	FF	202.75	WW	175
Р	201.5	GG	202.5	XX	175.65
Q	201.5	HH	22.15		
TOTAL SUM	9475.05	1	50		189.501'

LUC 20.20.010(16)(a) UNDERGROUND BUILDING ARE NOT STRUCTURE FOR THE PURPOSE OF CALCULATING LOT COVERAGE.
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BUILDING STRUCTURE DATA

*LUC 20.50.050 UNDERGROUND BUILDING: A BUILDING OR STRUCTURE OR PORTION THEREOF CONSTRUCTED ENTIRELY BELOW EXISTING OR FINISHED GRADE, WHICHEVER IS LOWER.

*LUC 20.50.040 PRIMARY STRUCTURE IS THE STRUCTURE ON A SITE THAT HOUSES THE PRIMARY USE.

FOR RESIDENTIAL USES, THE PRIMARY STRUCTURE HOUSES THE DWELLING UNIT(S). DO NOT INCLUDE STRUCTURES THAT CONSTAIN ONLY CERTAIN FUNCTIONS OR EQUIPMENT THAT SUPPORT THE PRIMARY USE, SUCH AS SHEDS, GARAGES, OR MECHANICAL EQUIPMENT STRUCTURES.

EXISTING ZONING: R-20 (20 UNIT PER ACRE) WITH TRANSITION ZONE OVERLAY UNIT LOT SUB-DIVISION-PENDING

OCCUPANCY:

R-2 MULTI-FAMILY MIXED USE
S-2 DRIVE AISLE & PARKING

CLASSIFICATION:

4 STORIES & NO BASEMENT (IBC202)

OCCUPIED ROOF:

OCCUPIED ROOF SHALL BE PER IBC 503.1.4

OCCUPIED ROOF:

ALLOWABLE
MAXIMUM HEIGHT:

AUTOMATIC

OCCUPIED ROOF SHALL BE PER IE

40' ABOVE A.B.E. WITH CREDITS

R-13 FIRE SPRINKLER SYSTEM ALI

SPRINKLER

DESIGN REVIEW:

SYSTEM:

R-13 FIRE SPRINKLER SYSTEM ALL 4 LEVELS (PER IBC903)

ADMINISTRATIVE DESIGN REVIEW REQUIRED

ADDRESS/LOCATION: 160 118TH AVE SE BELLEVUE, WA 98005

MUNICIPALITY:
SITE AREA:

PARKING:

SITE DATA

1.8 STALLS PER 3 BEDROOM
UNIT =10.4 REQUIRED
16 TENANT STALLS PROVIDED
2 GUEST STALLS PROVIDED

CITY OF BELLEVUE

18,871 SF

1.8 STALLS PER 3 BEDROOM
UNIT =10.4 REQUIRED

Sheet Name

PAF

PARKING LEVEL 0-PLAN

WTOWNHOMES.21

PACIFIC HOMEWORKS

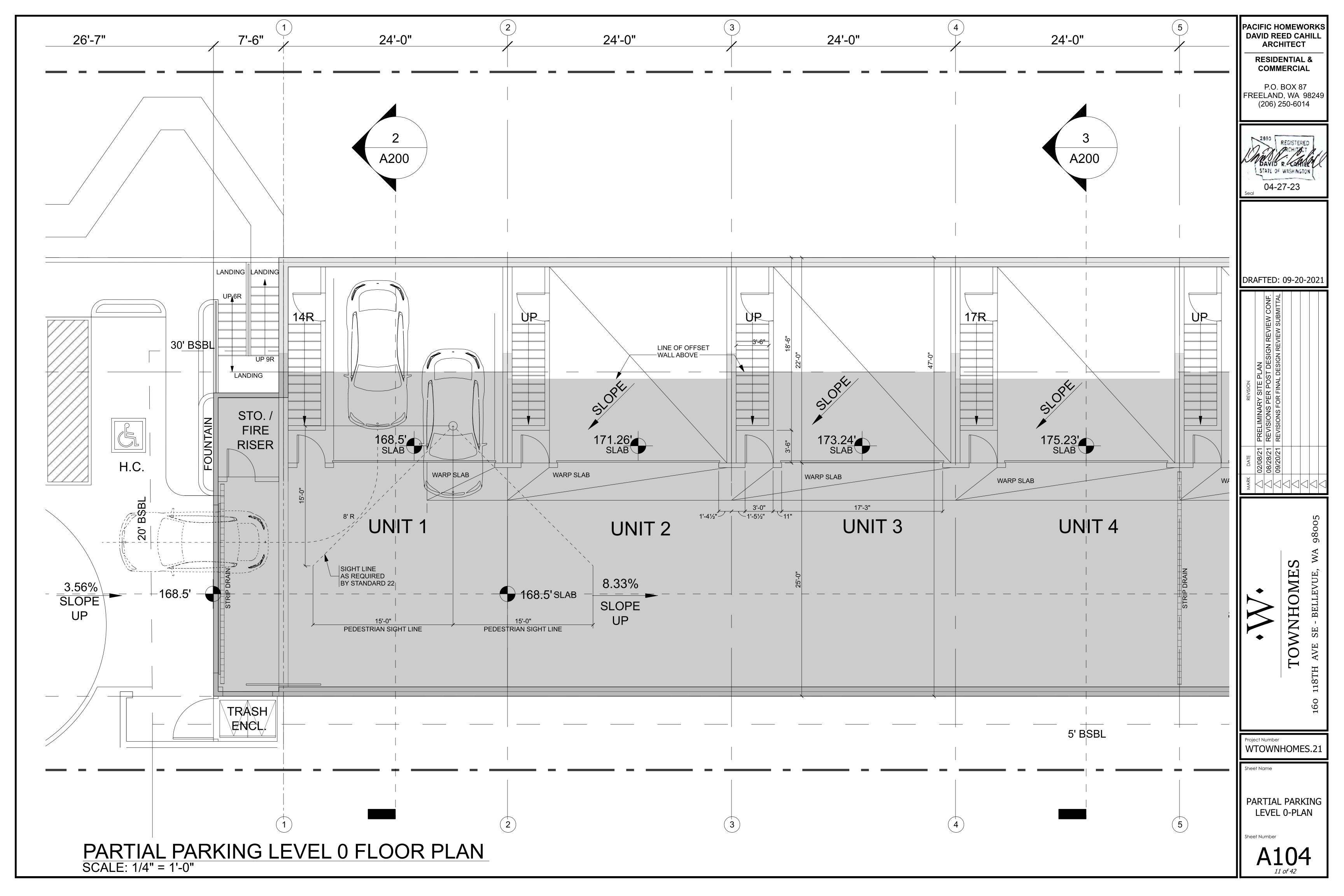
DAVID REED CAHILL ARCHITECT

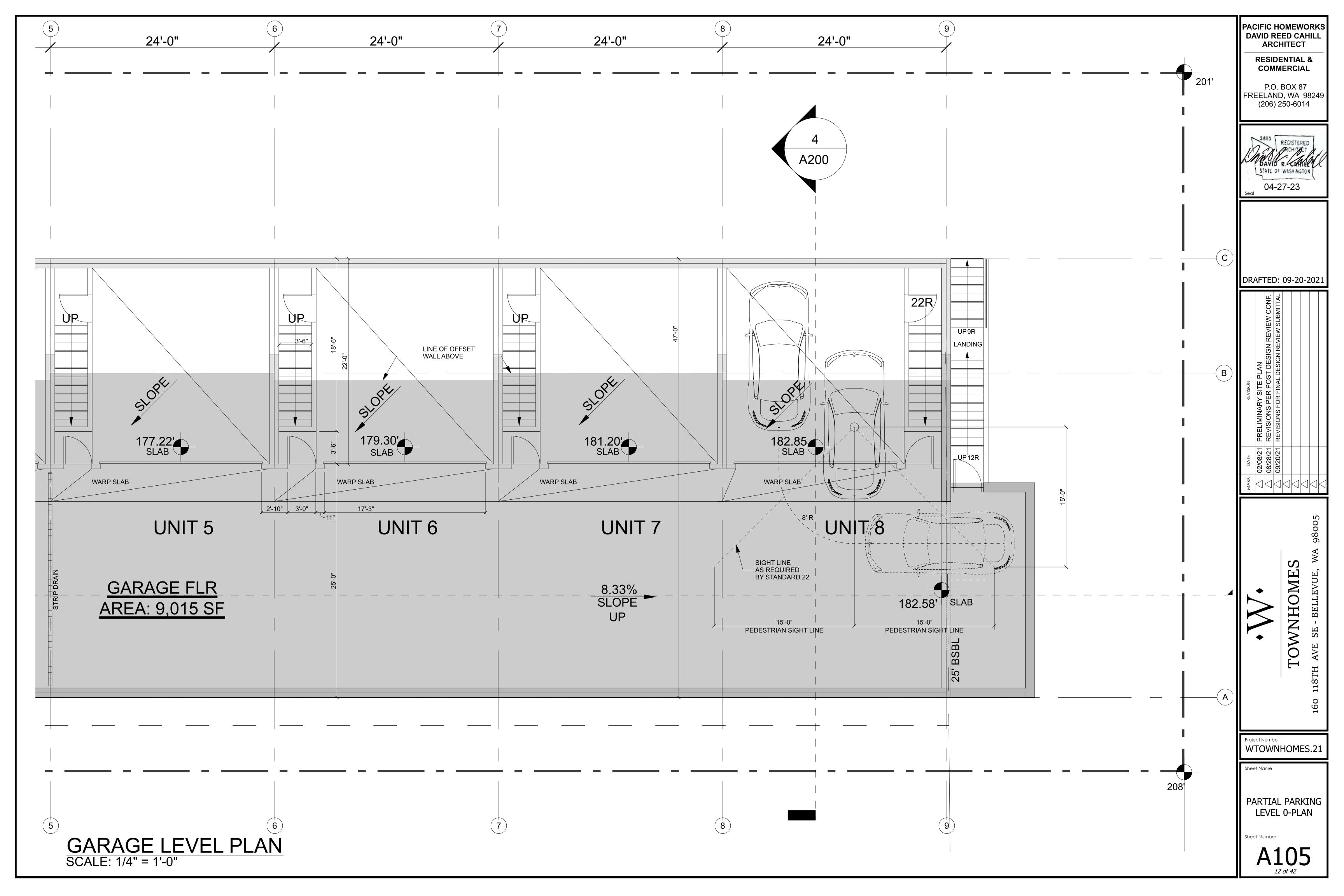
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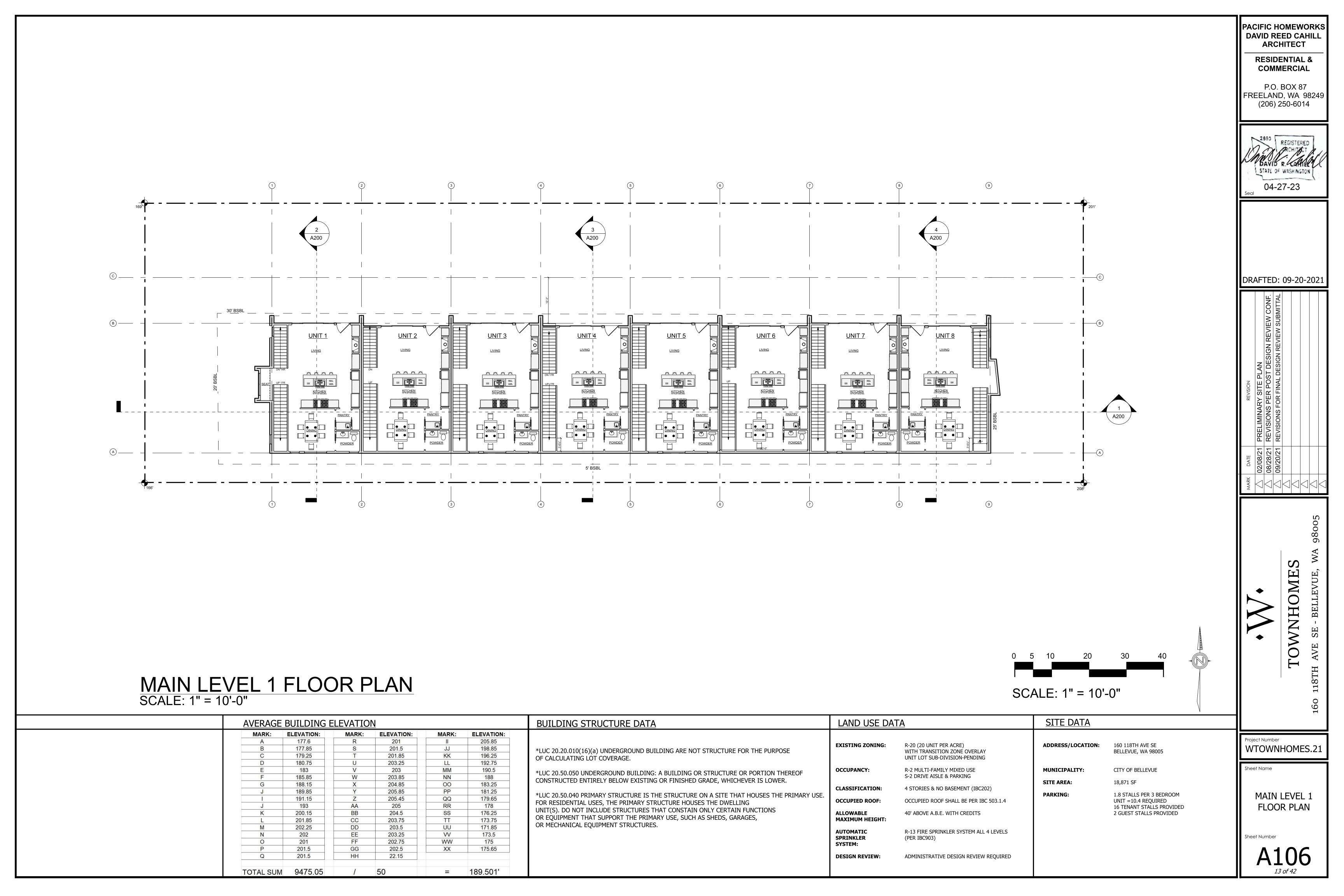
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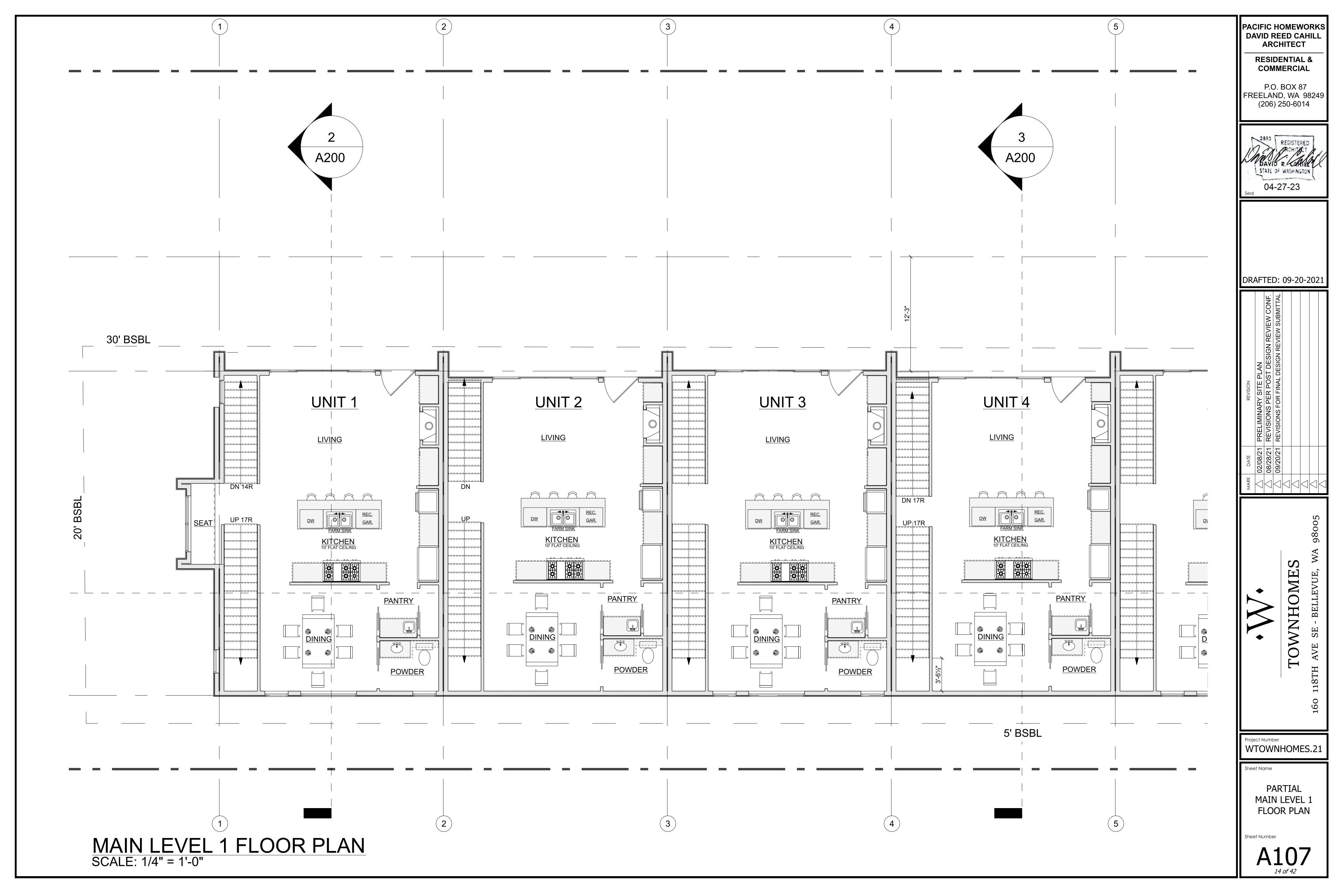
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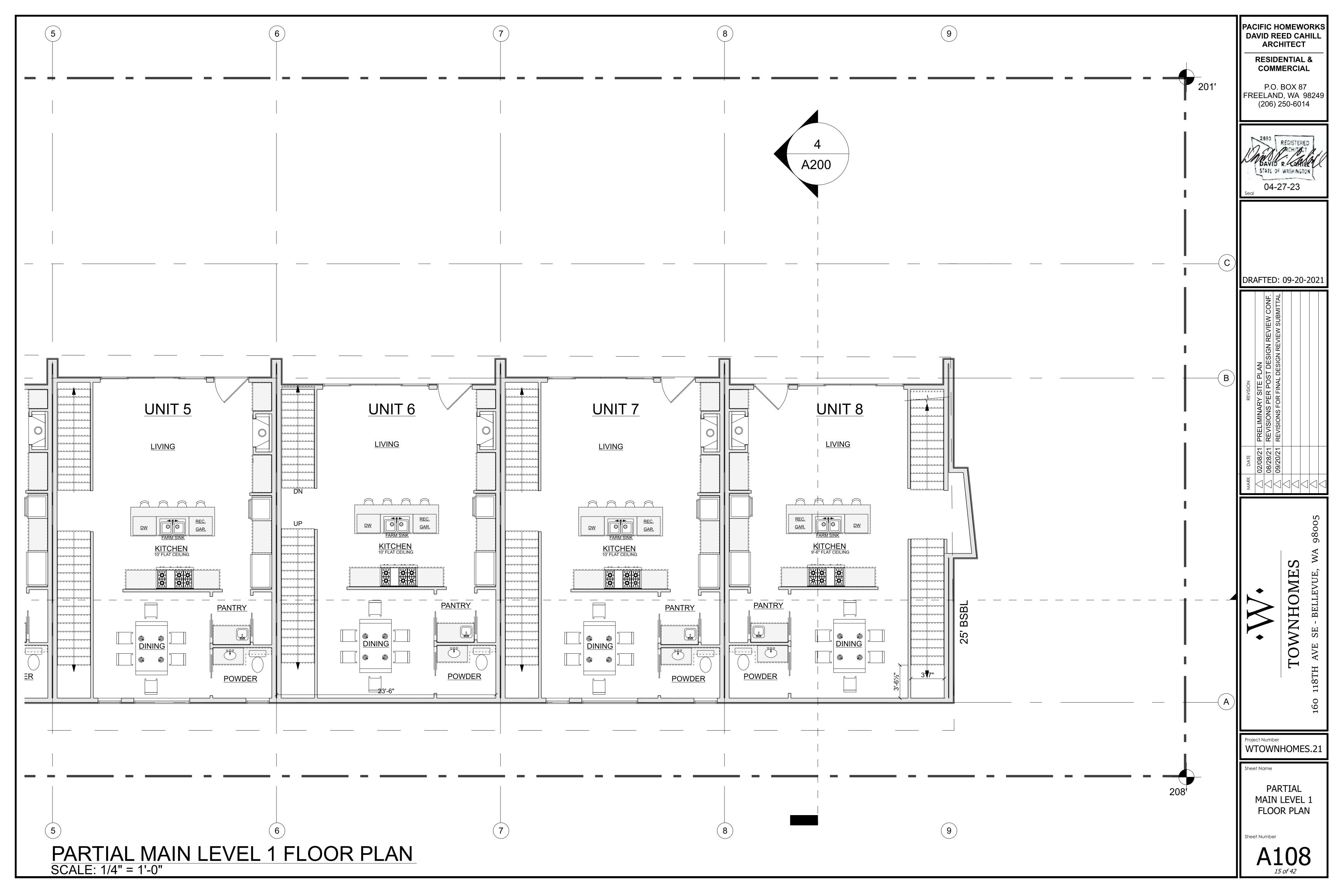
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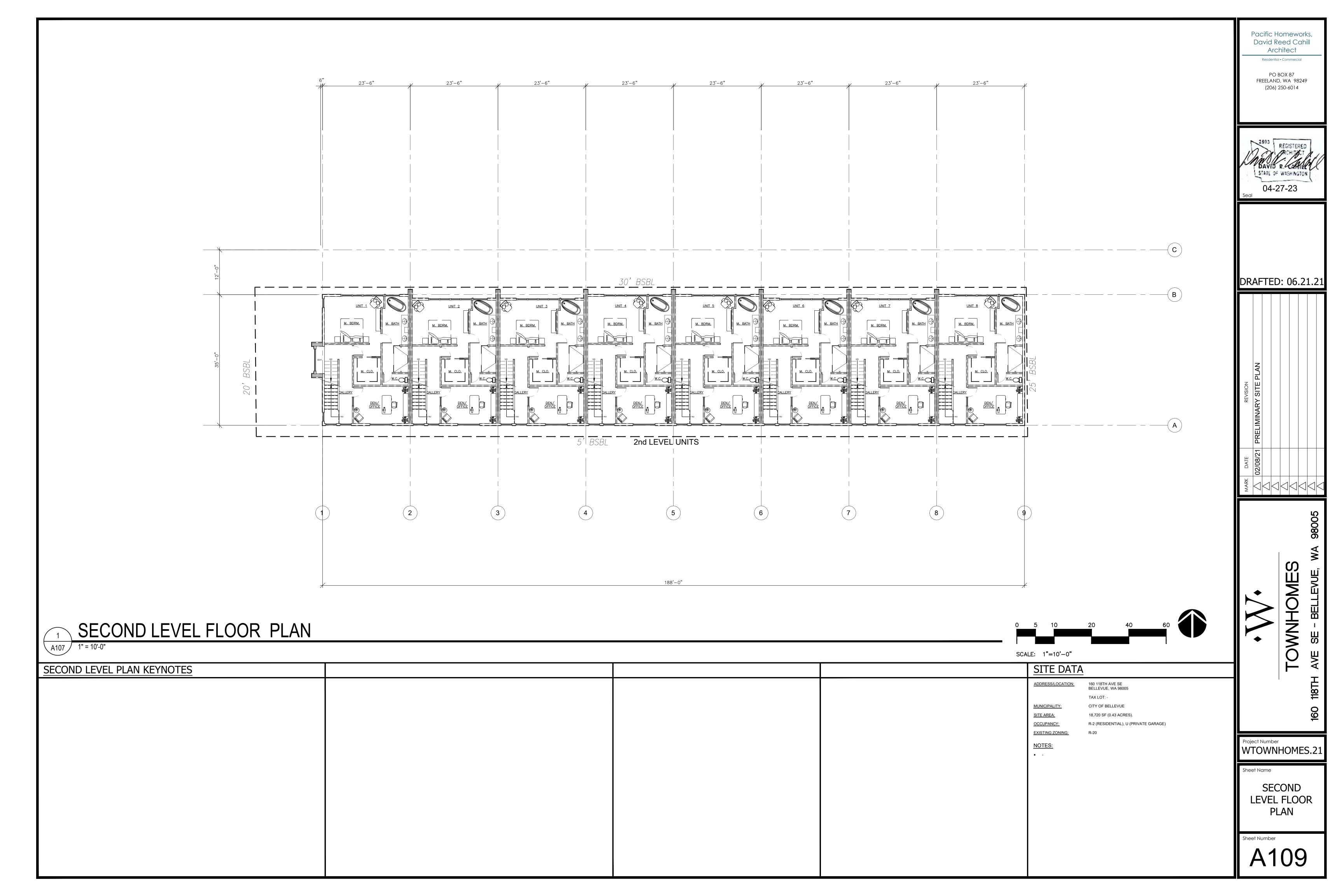


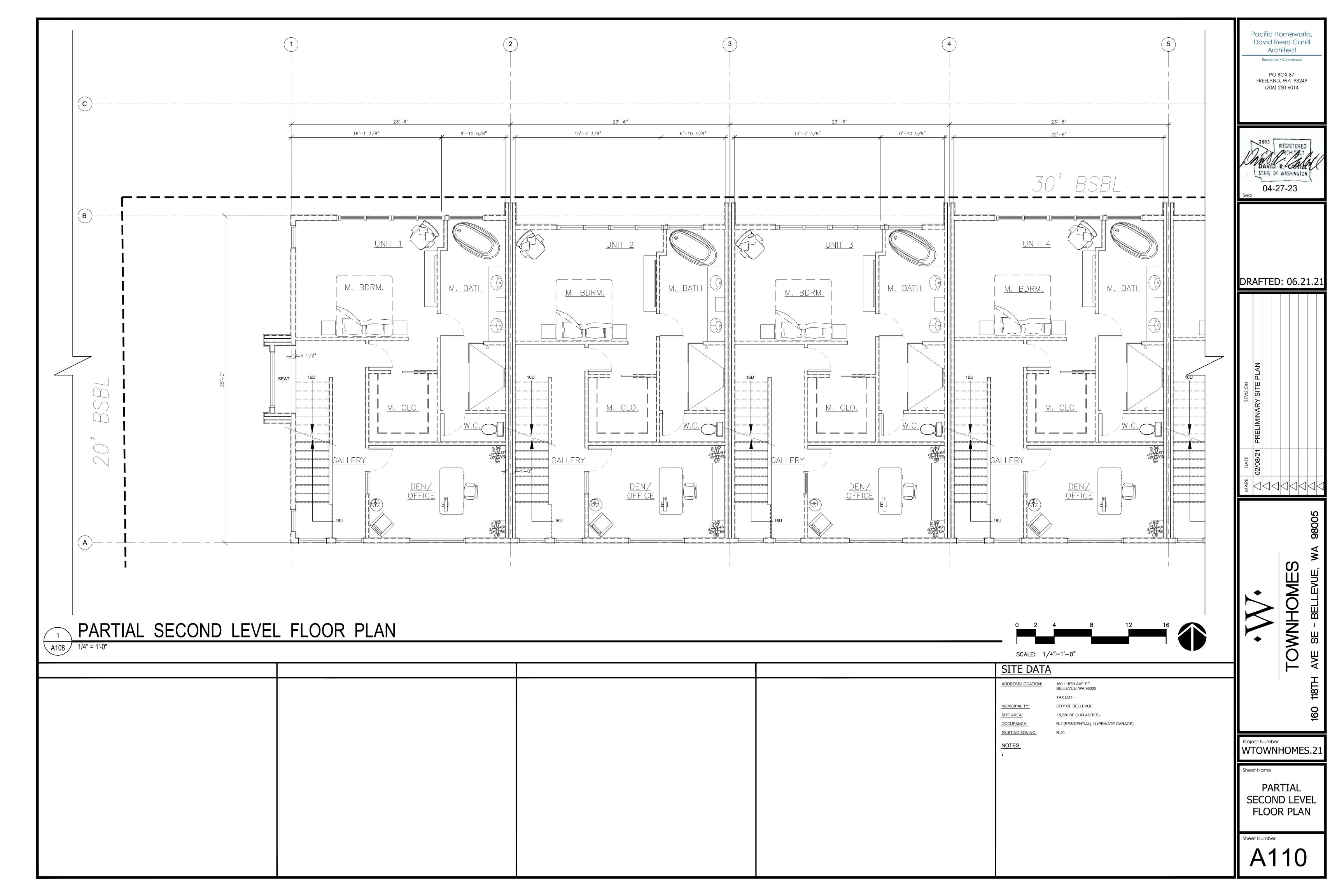


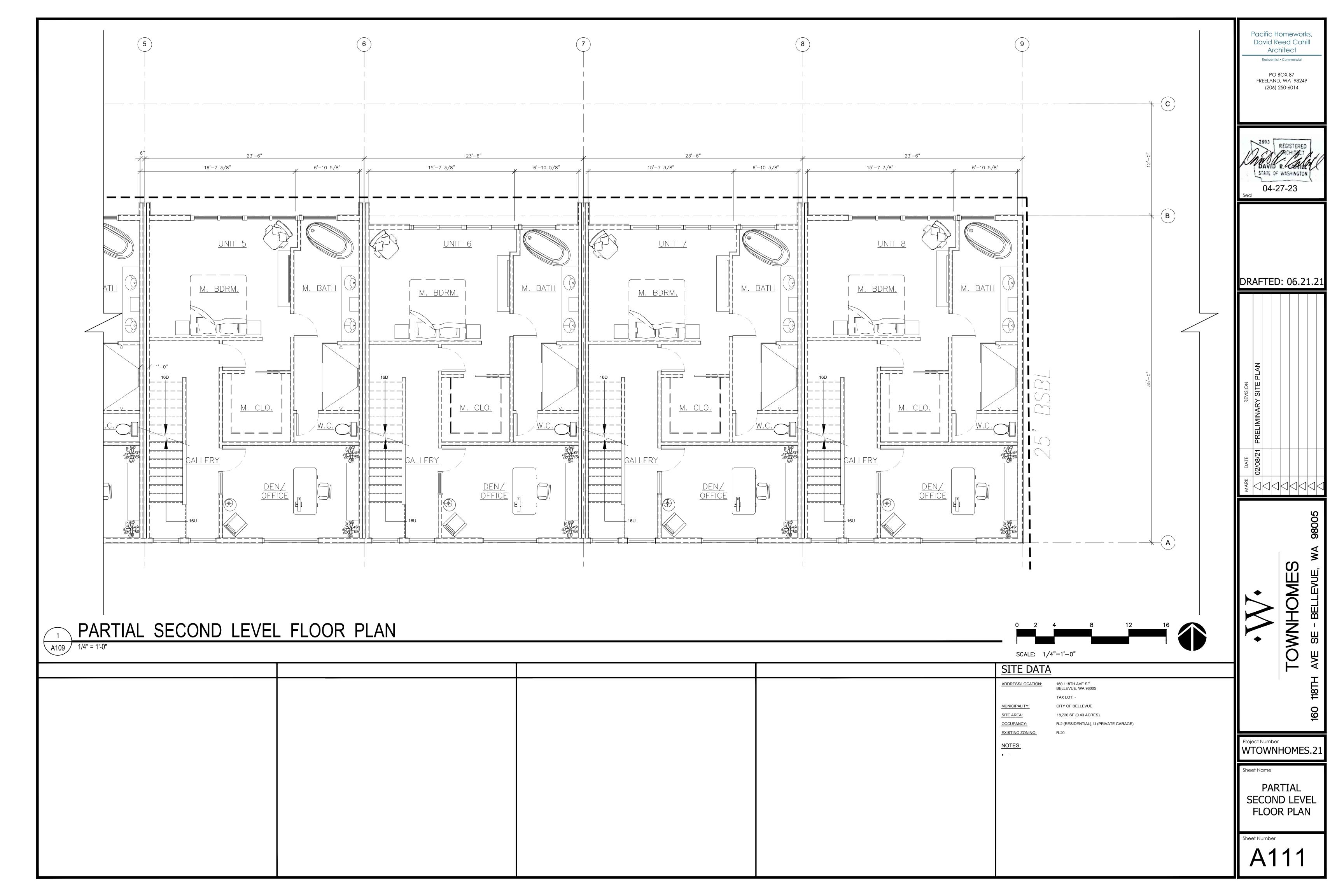


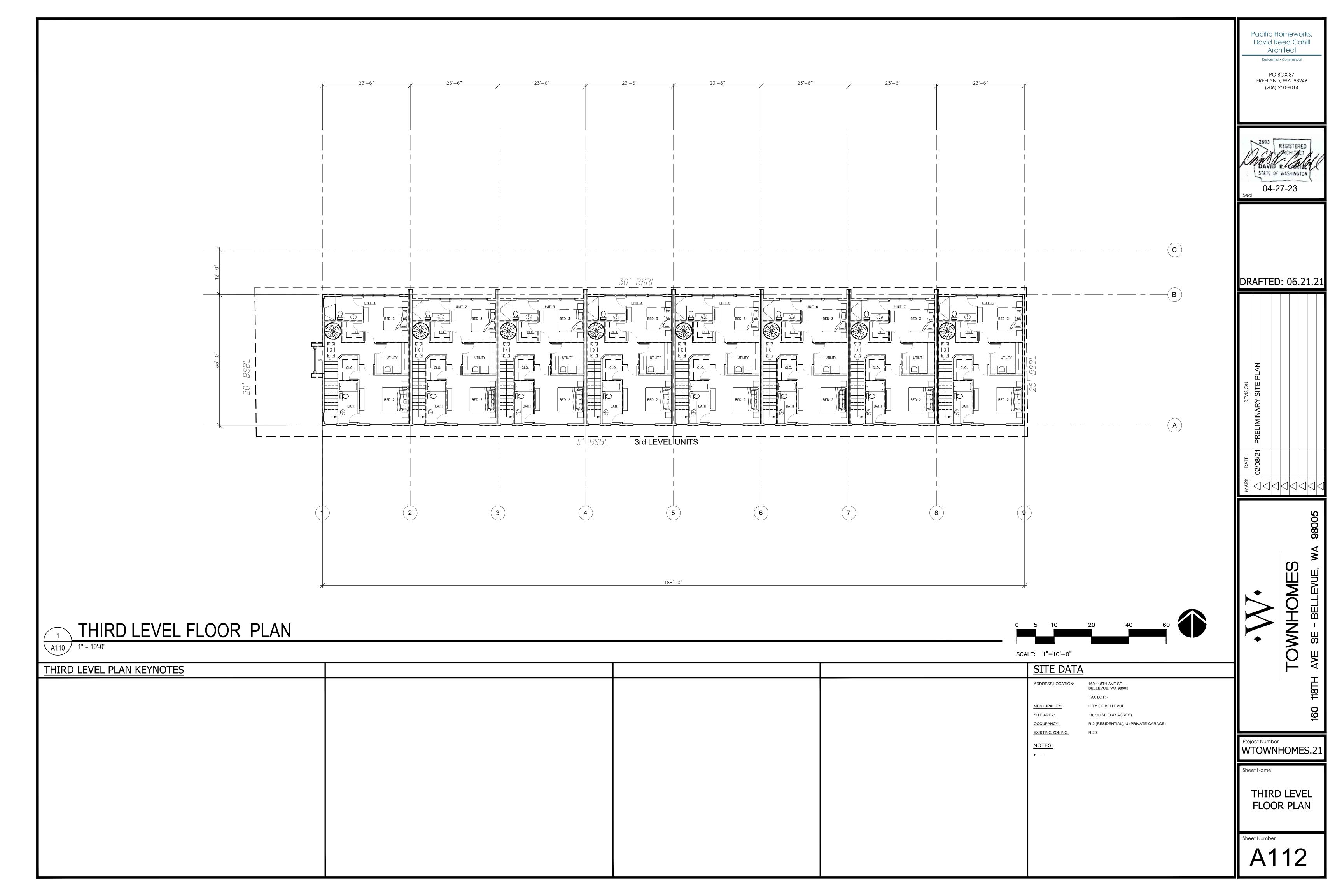


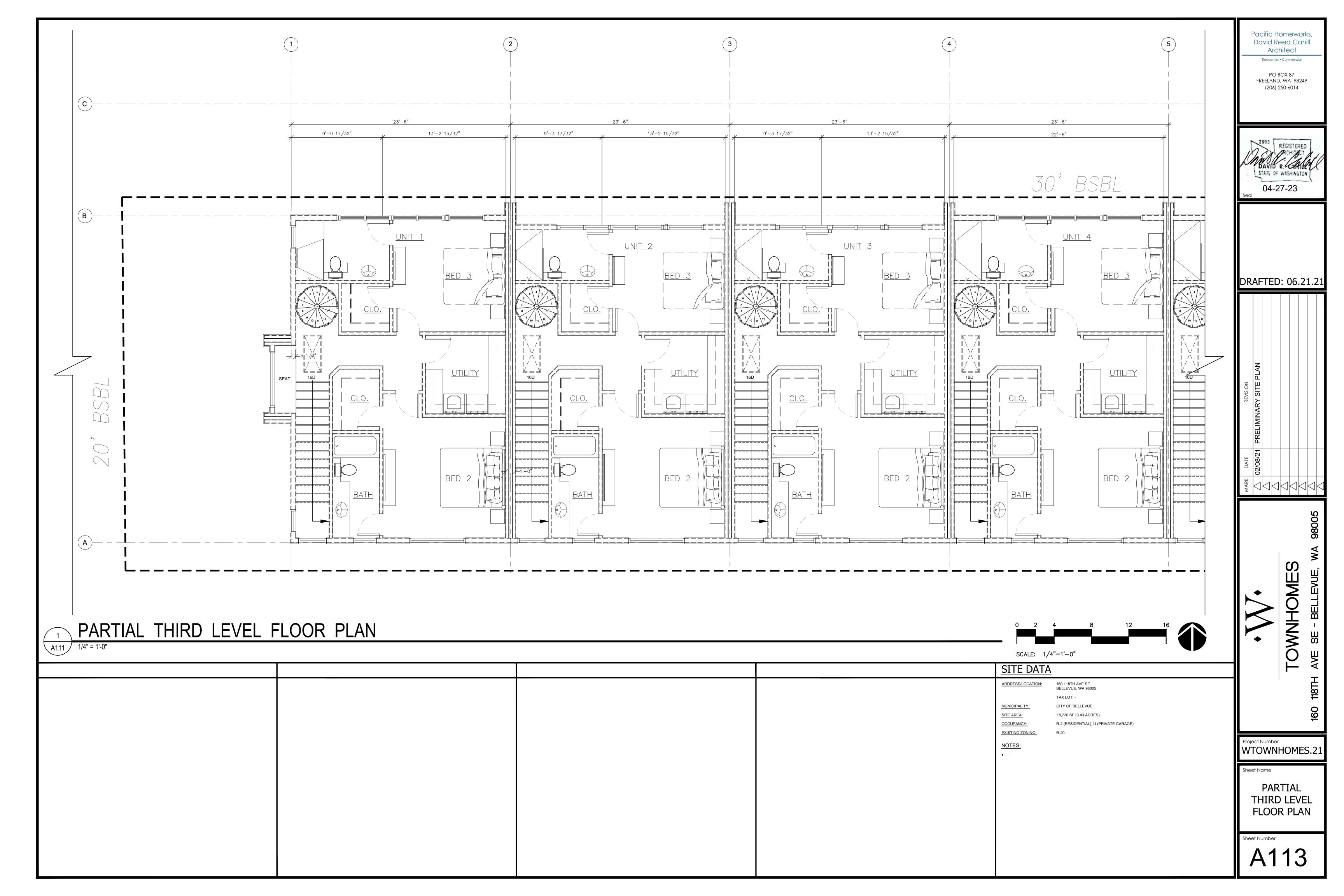


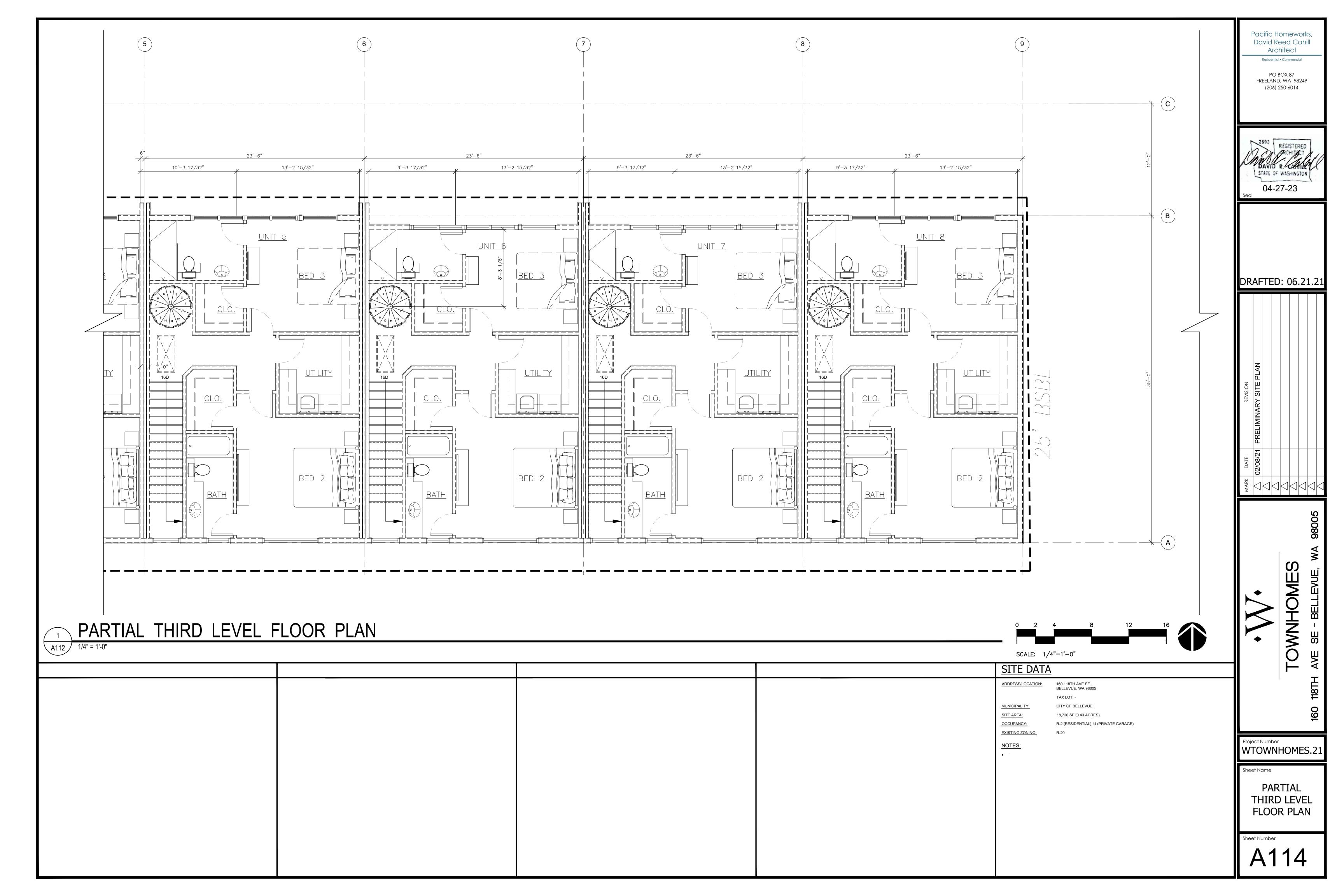


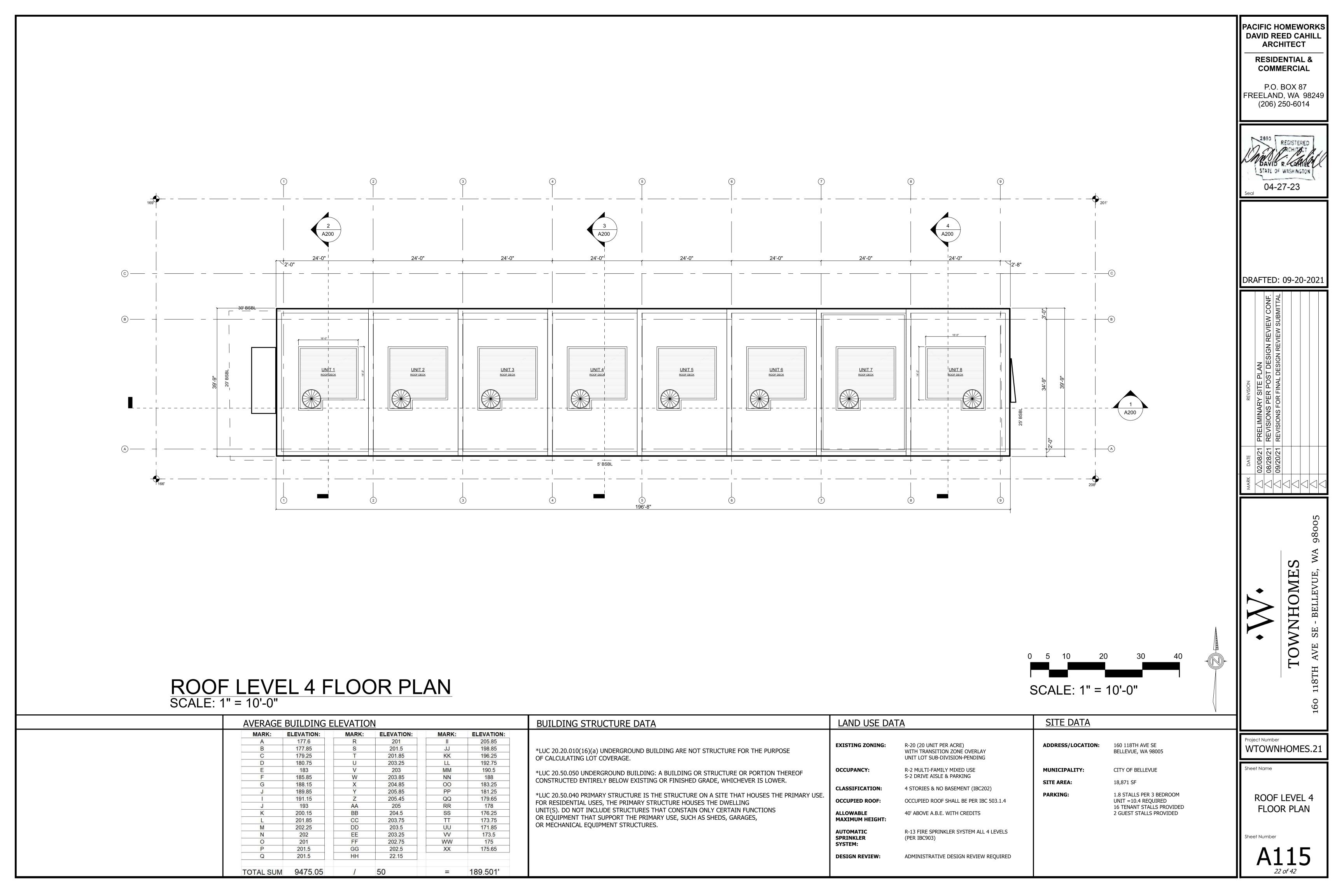


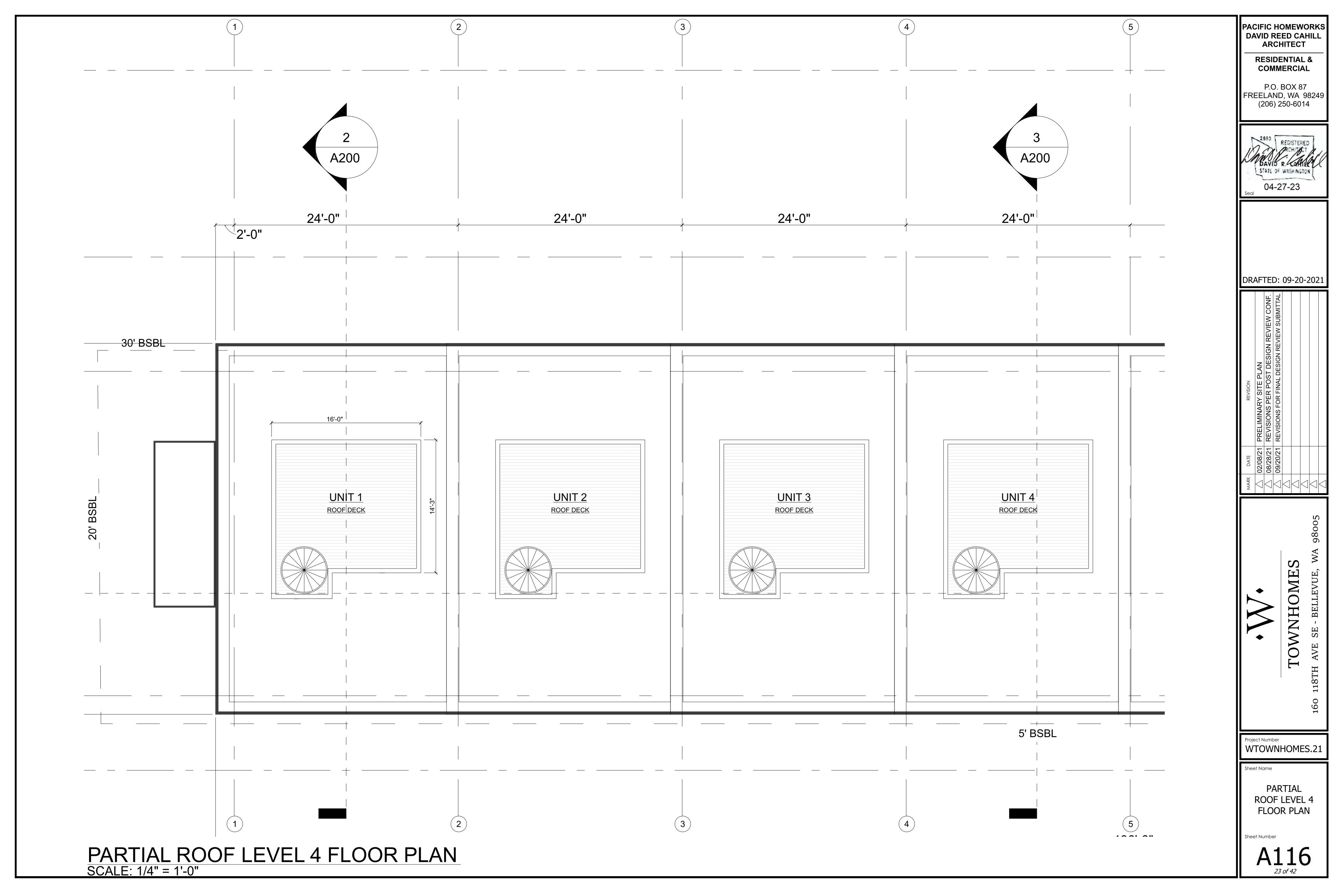


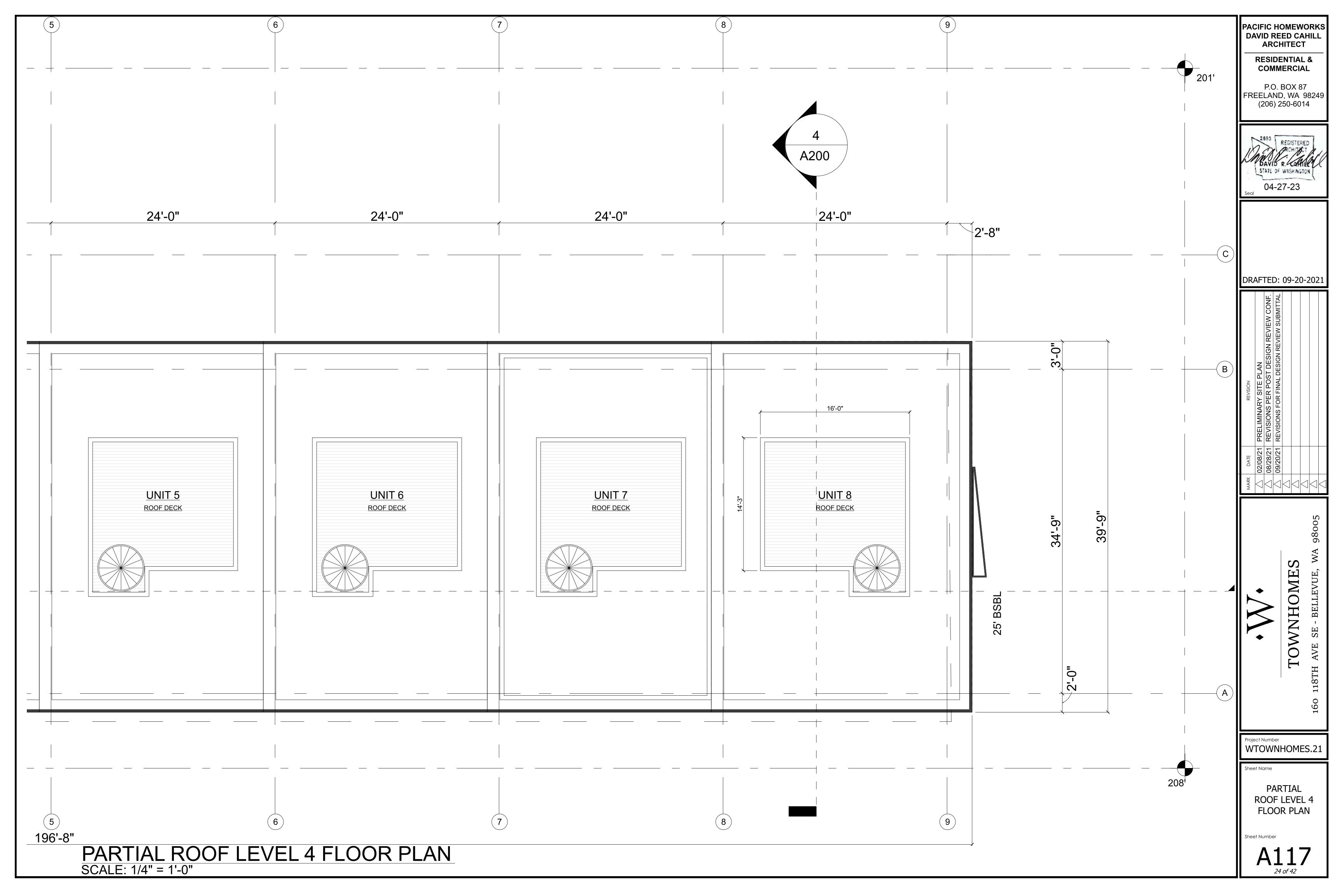


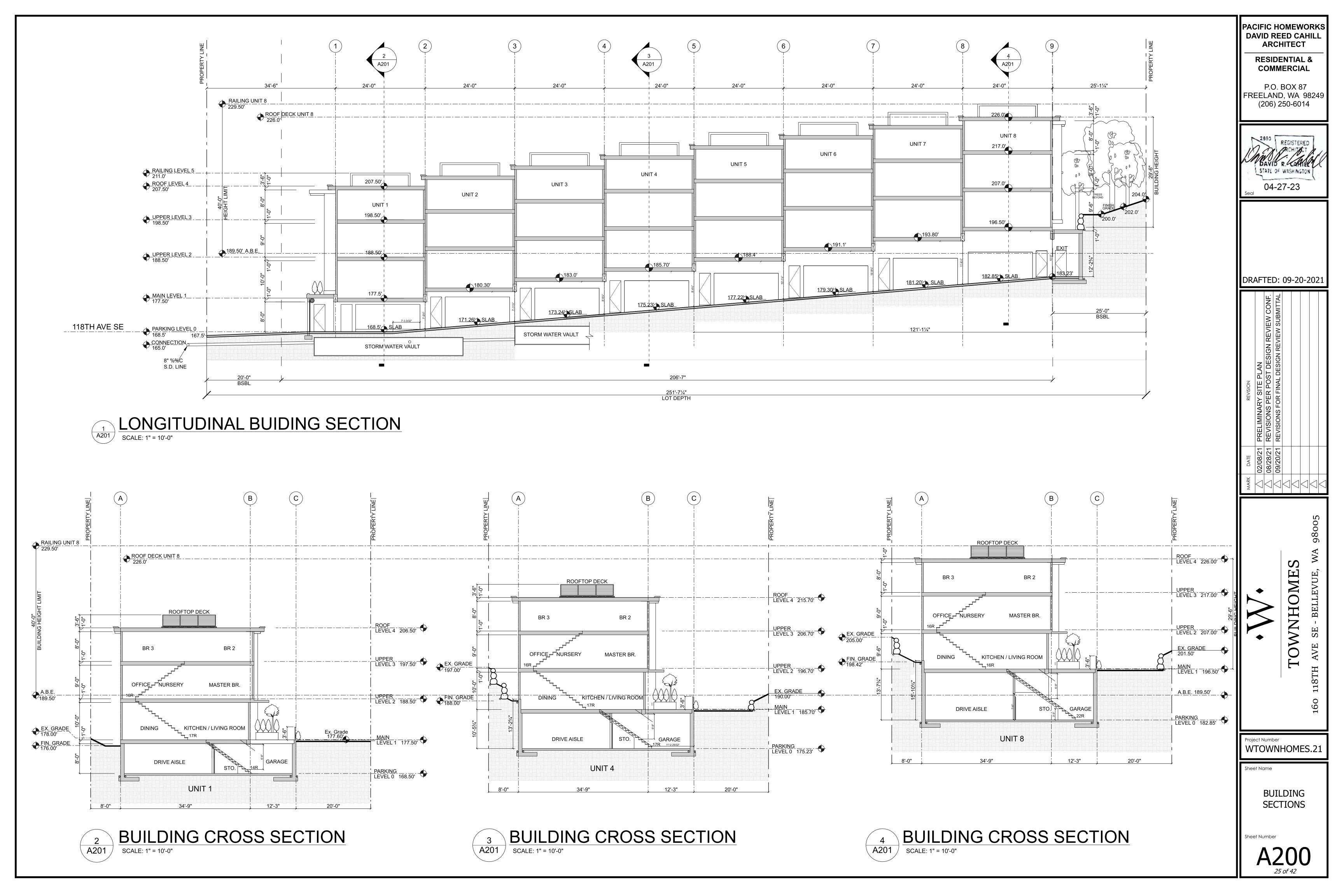


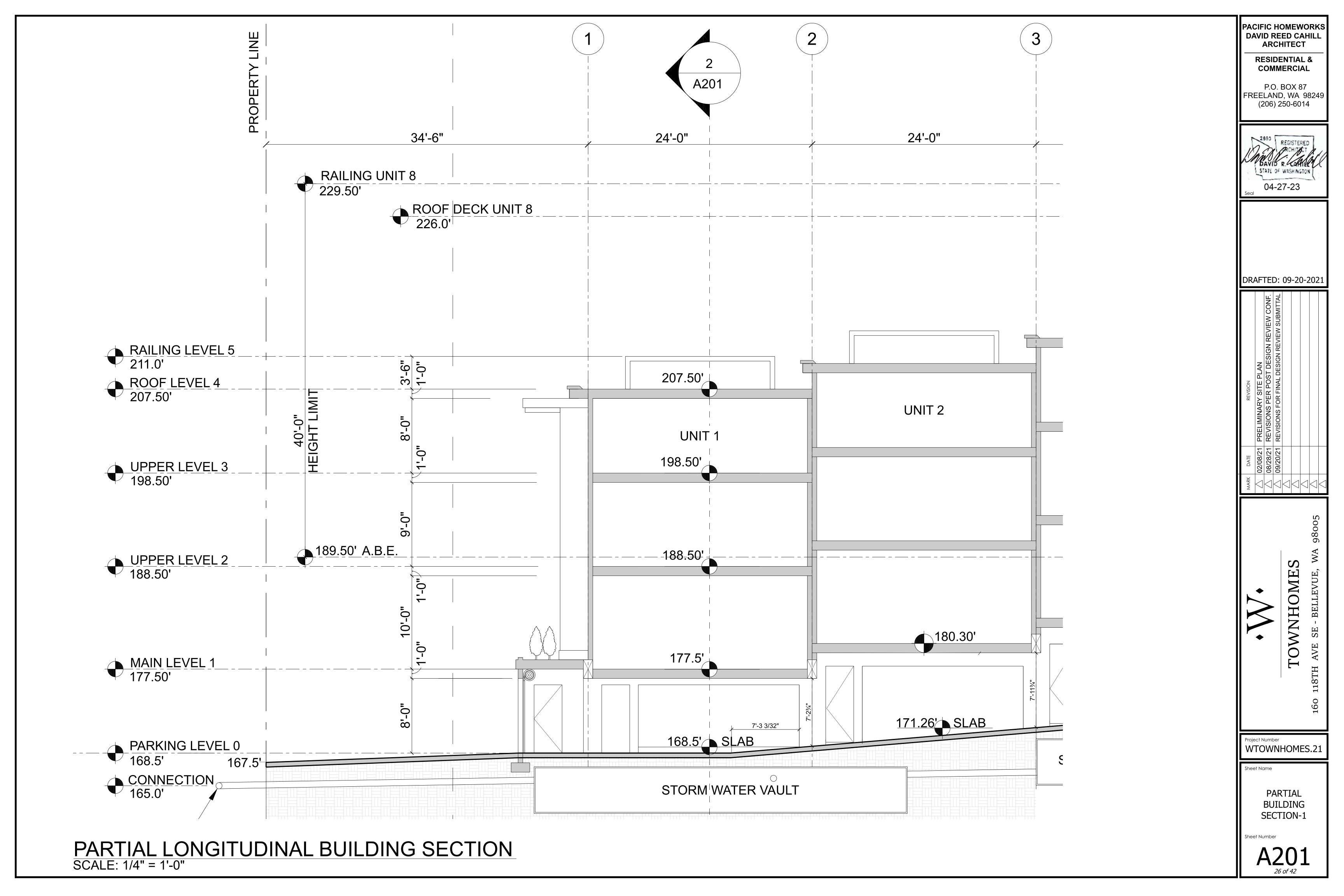


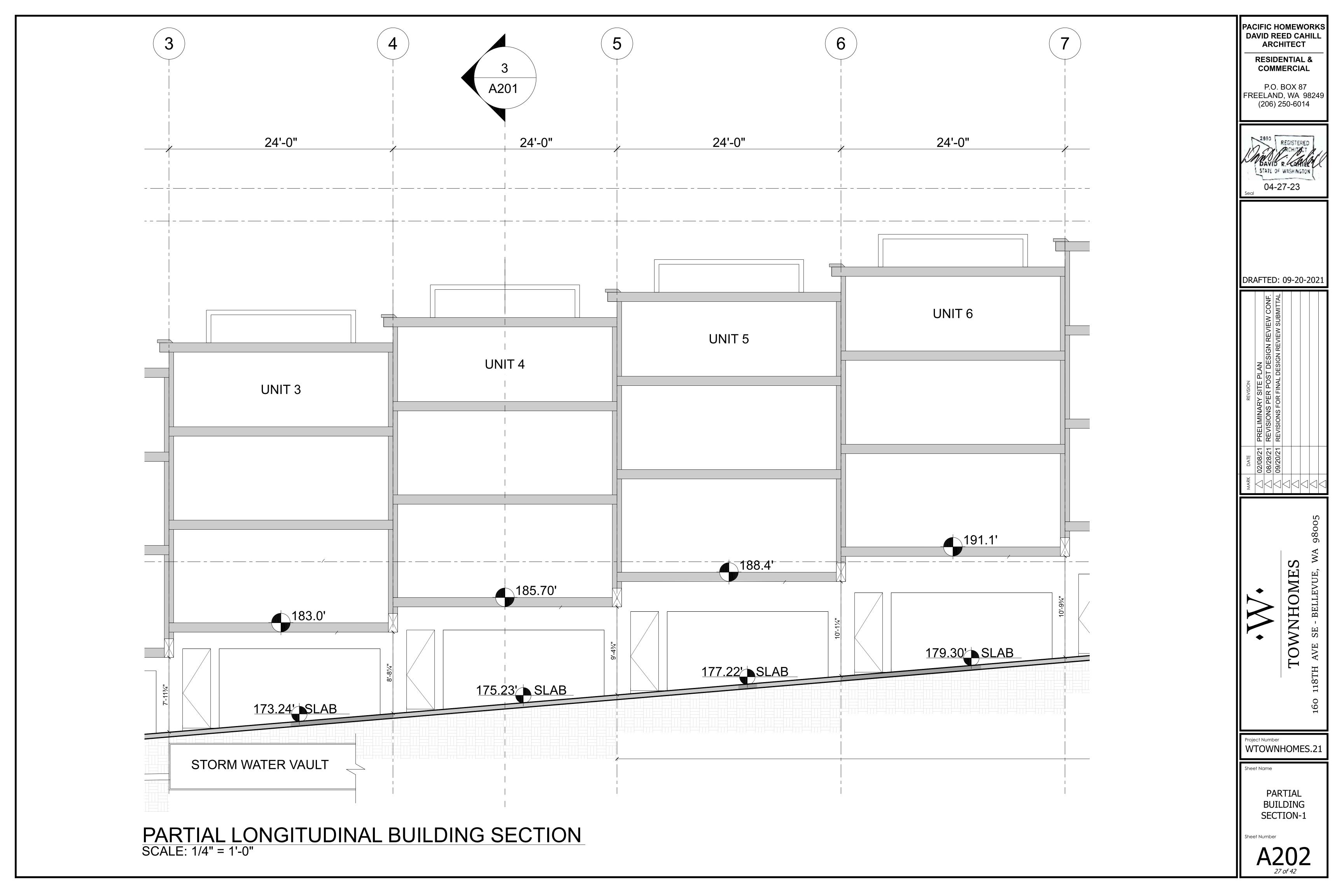


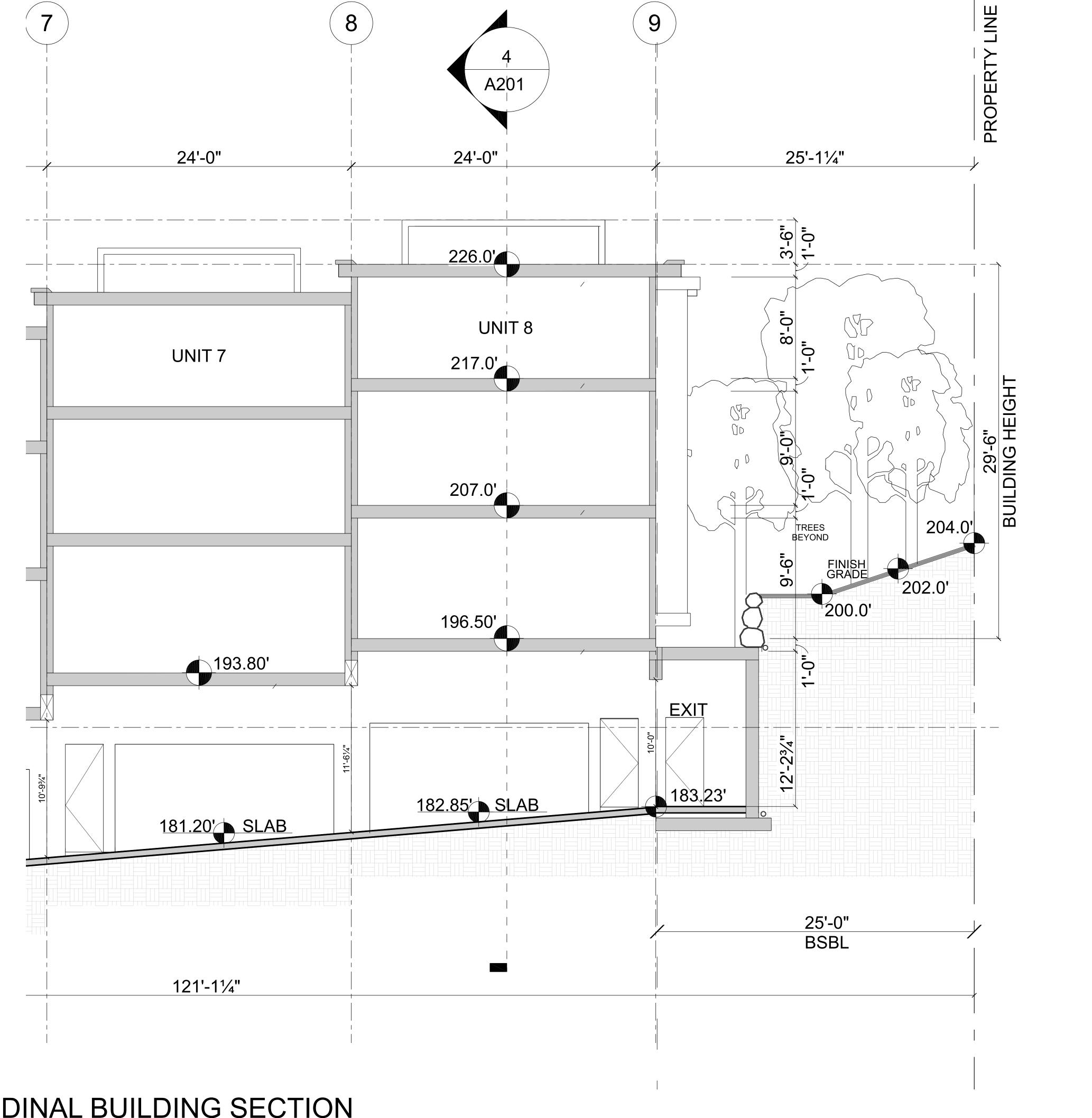












PARTIAL LONGITUDINAL BUILDING SECTION SCALE: 1/4" = 1'-0"

PACIFIC HOMEWORKS DAVID REED CAHILL ARCHITECT

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REGISTERED RECHITICATE OF WASHINGTON 04-27-23

DRAFTED: 09-20-2021

TOWNHOMES

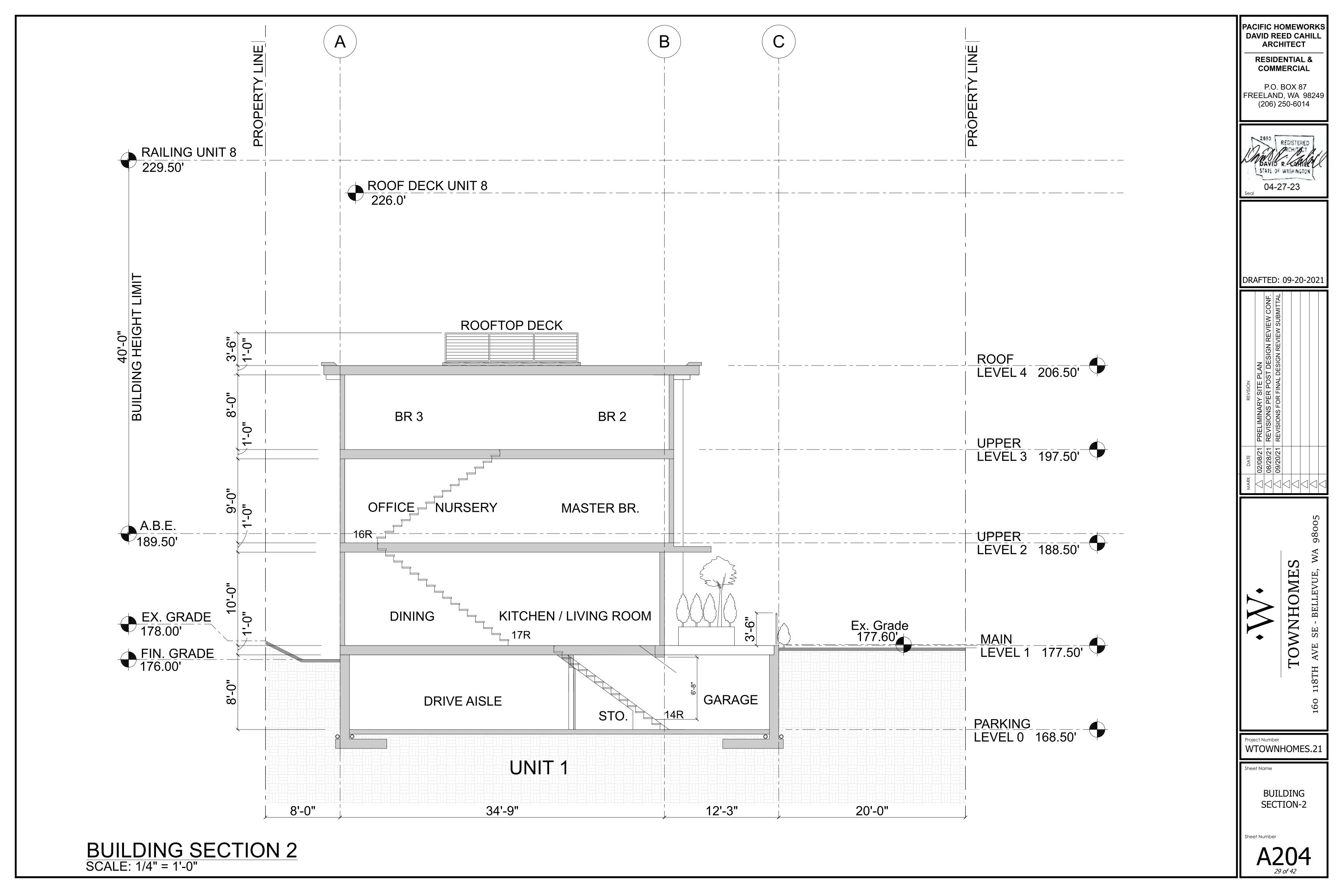
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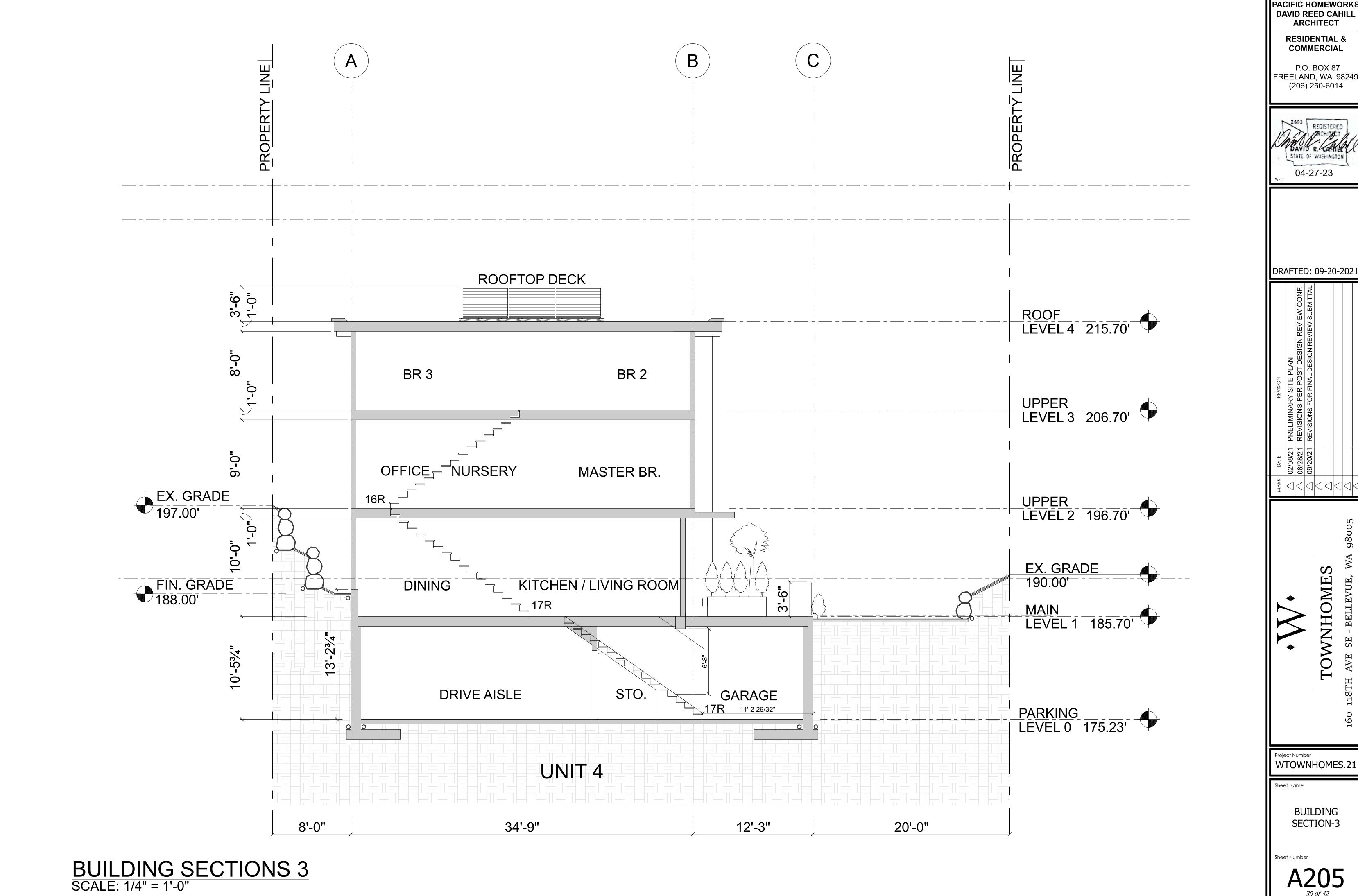
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PARTIAL BUILDING SECTION-1

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ARCHITECT

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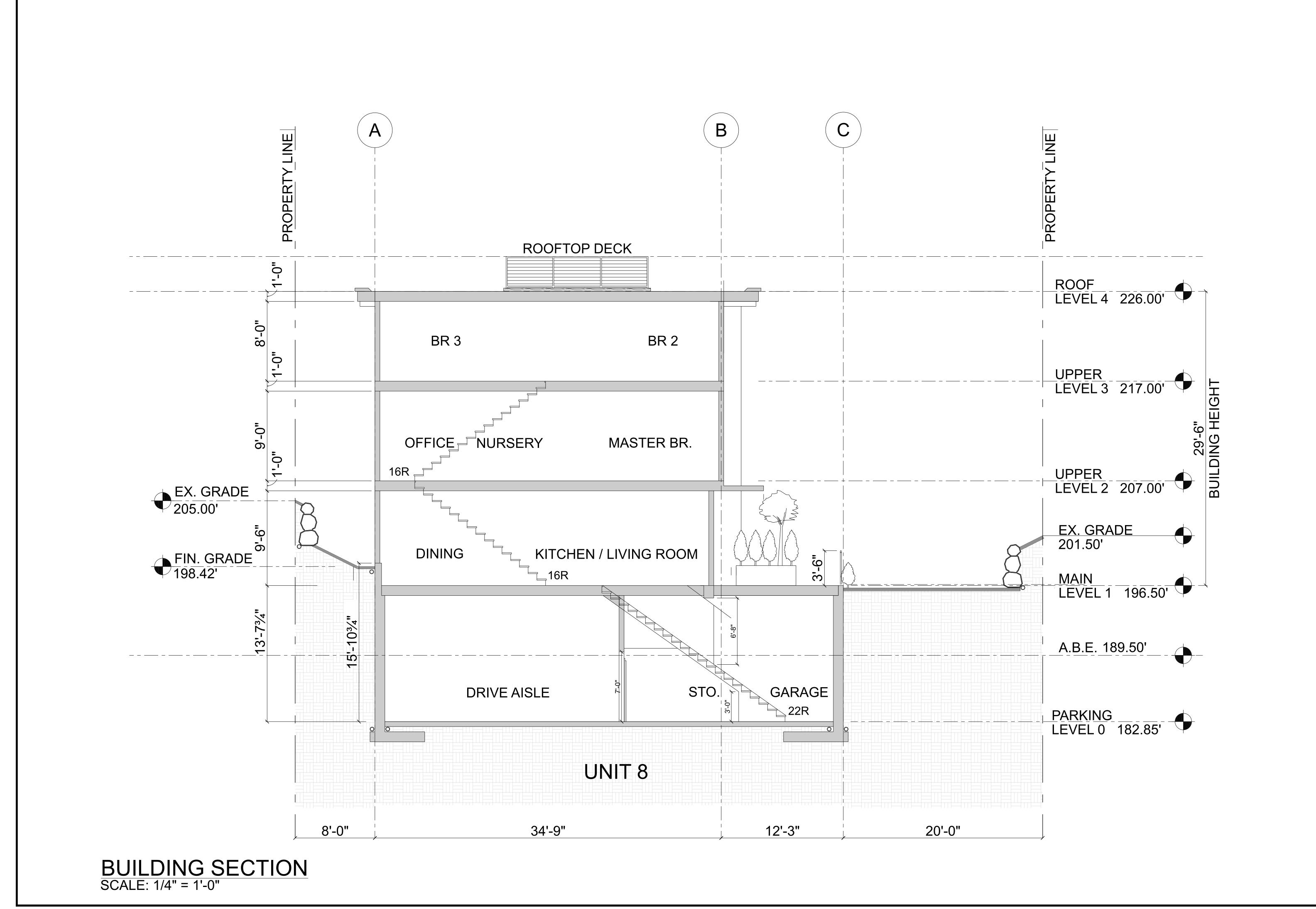
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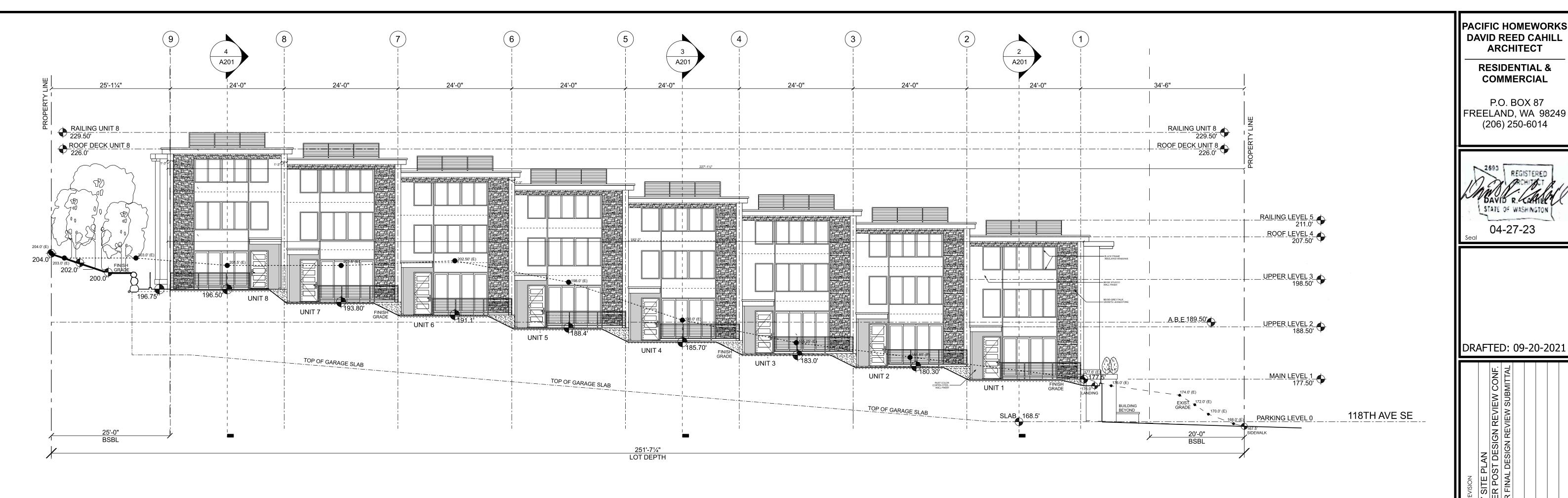
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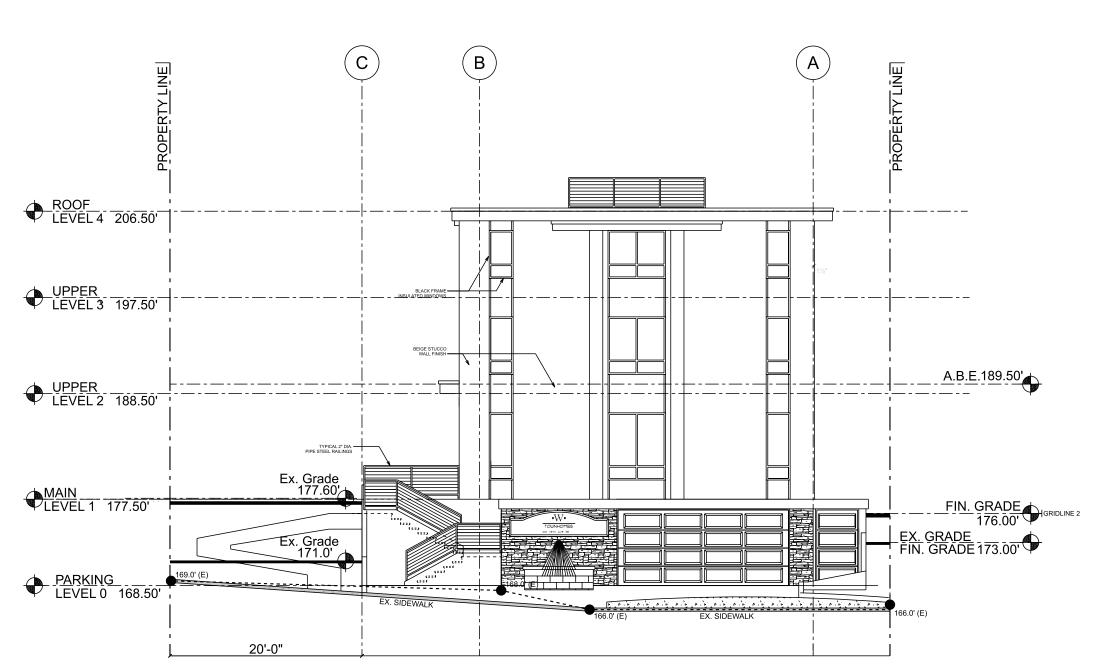
BUILDING SECTION-4

Sheet Number



NORTH BUILDING ELEVATION

SCALE: 1" = 10'-0"



WEST BUILDING ELEVATION $\begin{pmatrix} 2 \\ A201 \end{pmatrix}$

BUILDING STRUCTURE DATA

ELEVATION KEYNOTES	AVERAGE BUILDING ELEVATION					
	MARK:	ELEVATION:	MARK:	ELEVATION:	MARK:	ELEVATION:
	Α	177.6	R	201	11	205.85
	В	177.85	S	201.5	JJ	198.85
	С	179.25	Т	201.85	KK	196.25
	D	180.75	U	203.25	LL	192.75
	Е	183	V	203	MM	190.5
	F	185.85	W	203.85	NN	188
	G	188.15	X	204.85	00	183.25
	J	189.85	Y	205.85	PP	181.25
	1	191.15	Z	205.45	QQ	179.65
	J	193	AA	205	RR	178
	K	200.15	BB	204.5	SS	176.25
		201.85	CC	203.75	TT	173.75
	M	202.25	DD	203.5	UU	171.85
	N	202	EE	203.25	VV	173.5
	0	201	FF	202.75	WW	175
	Р	201.5	GG	202.5	XX	175.65
	Q	201.5	HH	22.15		
	TOTAL SUM	9475.05	1	50	=	189.501'

*LUC 20.20.010(16)(a) UNDERGROUND BUILDING ARE NOT STRUCTURE FOR THE PURPOSE OF CALCULATING LOT COVERAGE.

*LUC 20.50.050 UNDERGROUND BUILDING: A BUILDING OR STRUCTURE OR PORTION THEREOF CONSTRUCTED ENTIRELY BELOW EXISTING OR FINISHED GRADE, WHICHEVER IS LOWER.

*LUC 20.50.040 PRIMARY STRUCTURE IS THE STRUCTURE ON A SITE THAT HOUSES THE PRIMARY USE. FOR RESIDENTIAL USES, THE PRIMARY STRUCTURE HOUSES THE DWELLING UNIT(S). DO NOT INCLUDE STRUCTURES THAT CONSTAIN ONLY CERTAIN FUNCTIONS OR EQUIPMENT THAT SUPPORT THE PRIMARY USE, SUCH AS SHEDS, GARAGES, OR MECHANICAL EQUIPMENT STRUCTURES.

LAND USE DATA R-20 (20 UNIT PER ACRE) WITH TRANSITION ZONE OVERLAY **EXISTING ZONING:**

UNIT LOT SUB-DIVISION-PENDING R-2 MULTI-FAMILY MIXED USE OCCUPANCY:

S-2 DRIVE AISLE & PARKING **CLASSIFICATION:** 4 STORIES & NO BASEMENT (IBC202) **OCCUPIED ROOF:** OCCUPIED ROOF SHALL BE PER IBC 503.1.4

ALLOWABLE 40' ABOVE A.B.E. WITH CREDITS **MAXIMUM HEIGHT: AUTOMATIC** R-13 FIRE SPRINKLER SYSTEM ALL 4 LEVELS **SPRINKLER** (PER IBC903)

ADMINISTRATIVE DESIGN REVIEW REQUIRED

SYSTEM:

DESIGN REVIEW:

MUNICIPALITY: SITE AREA:

ADDRESS/LOCATION:

SITE DATA

18,871 SF **PARKING:** 1.8 STALLS PER 3 BEDROOM UNIT =10.4 REQUIRED 16 TENANT STALLS PROVIDED

160 118TH AVE SE

CITY OF BELLEVUE

2 GUEST STALLS PROVIDED

BELLEVUE, WA 98005

WTOWNHOMES.21

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P.O. BOX 87

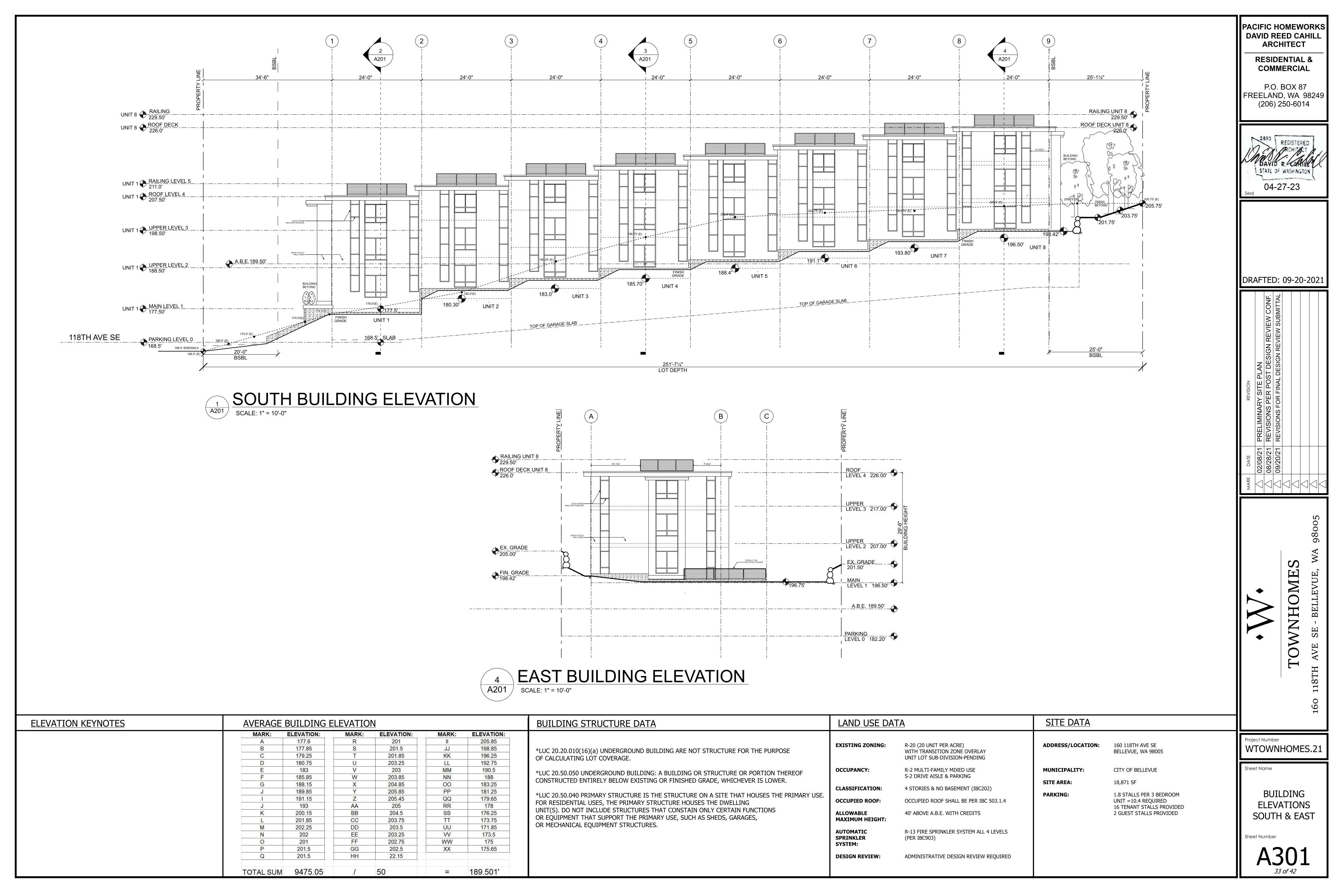
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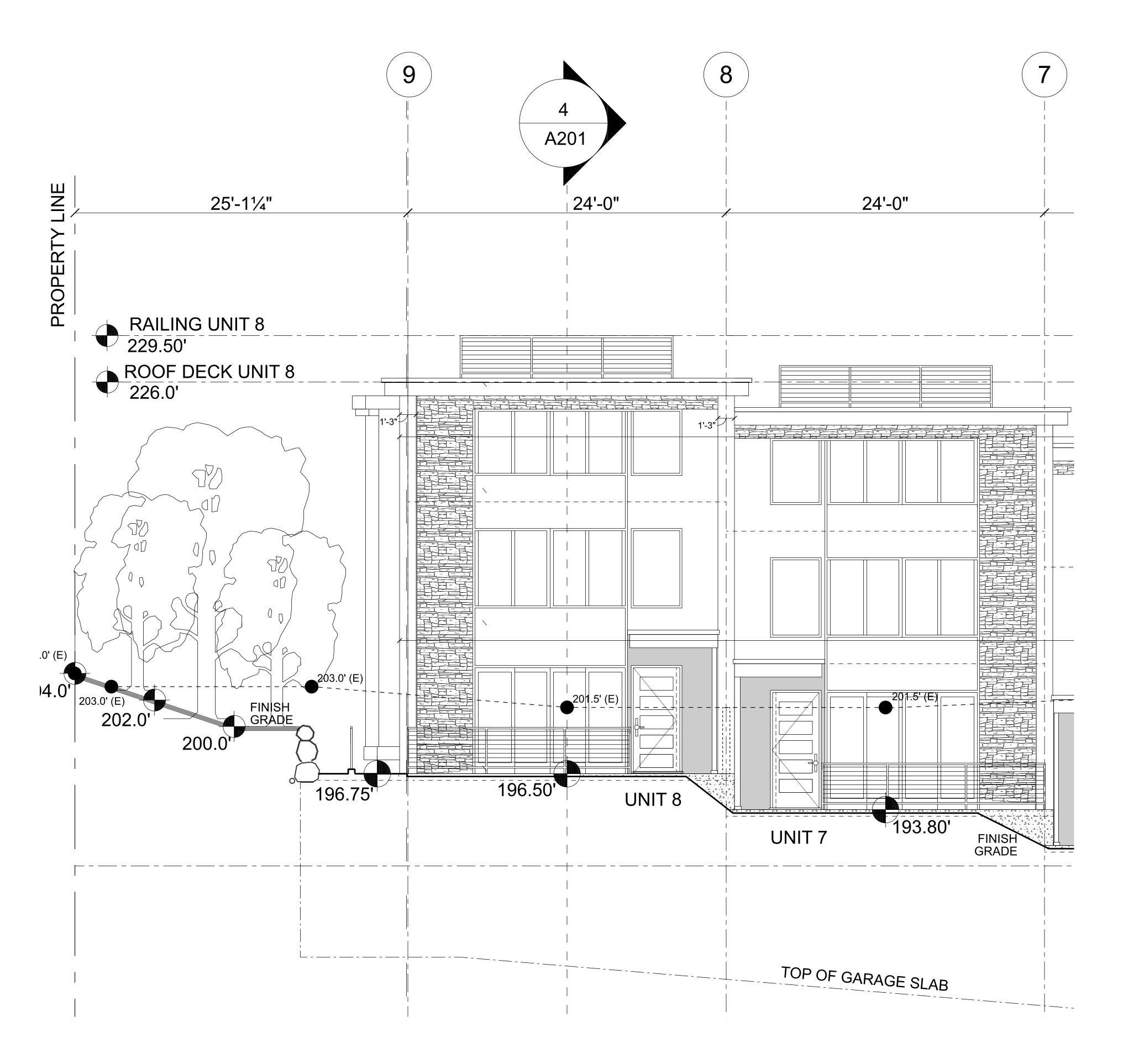
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Sheet Name

BUILDING **ELEVATIONS NORTH & WEST**

Sheet Number





PARTIAL NORTH BUILDING ELEVATION SCALE: 1/4" = 1'-0"

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DRAFTED: 09-20-2021

MARK DATE REVISION

O2/08/21 PRELIMINARY SITE PLAN

O8/28/21 REVISIONS PER POST DESIGN REVIEW CONF.

O9/20/21 REVISIONS FOR FINAL DESIGN REVIEW SUBMITTAL

O9/20/21 REVISIONS FOR FINAL DESIGN REVIEW SUBMITTAL

O9/20/21 REVISIONS FOR FINAL DESIGN REVIEW SUBMITTAL

TOWNHOMES

18TH AVE SE - BELLEVUE, WA 9800

Project Number
WTOWNHOMES.21

Sheet Nam

PARTIAL NORTH ELEVATION

Sheet No



PACIFIC HOMEWORKS
DAVID REED CAHILL
ARCHITECT

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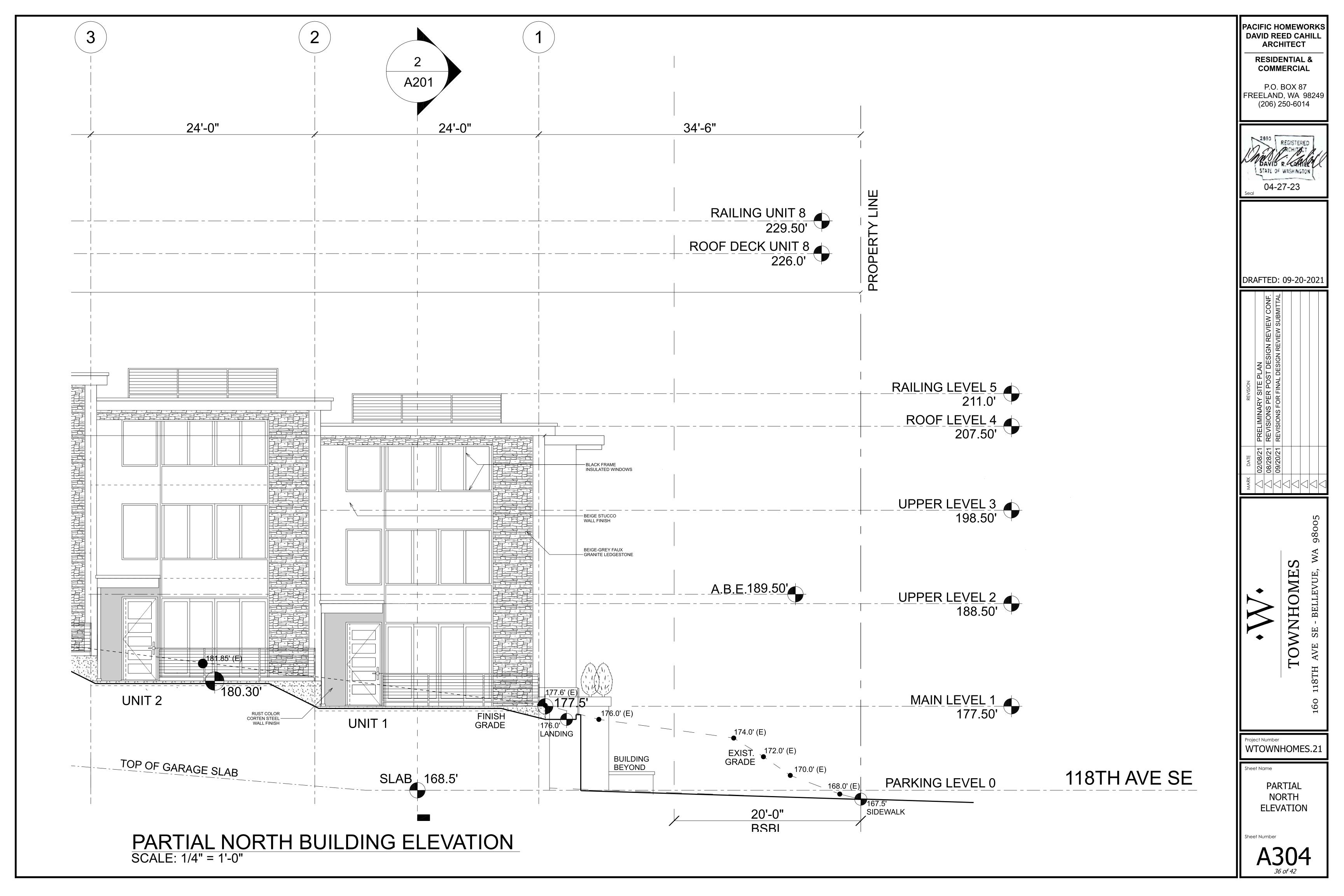
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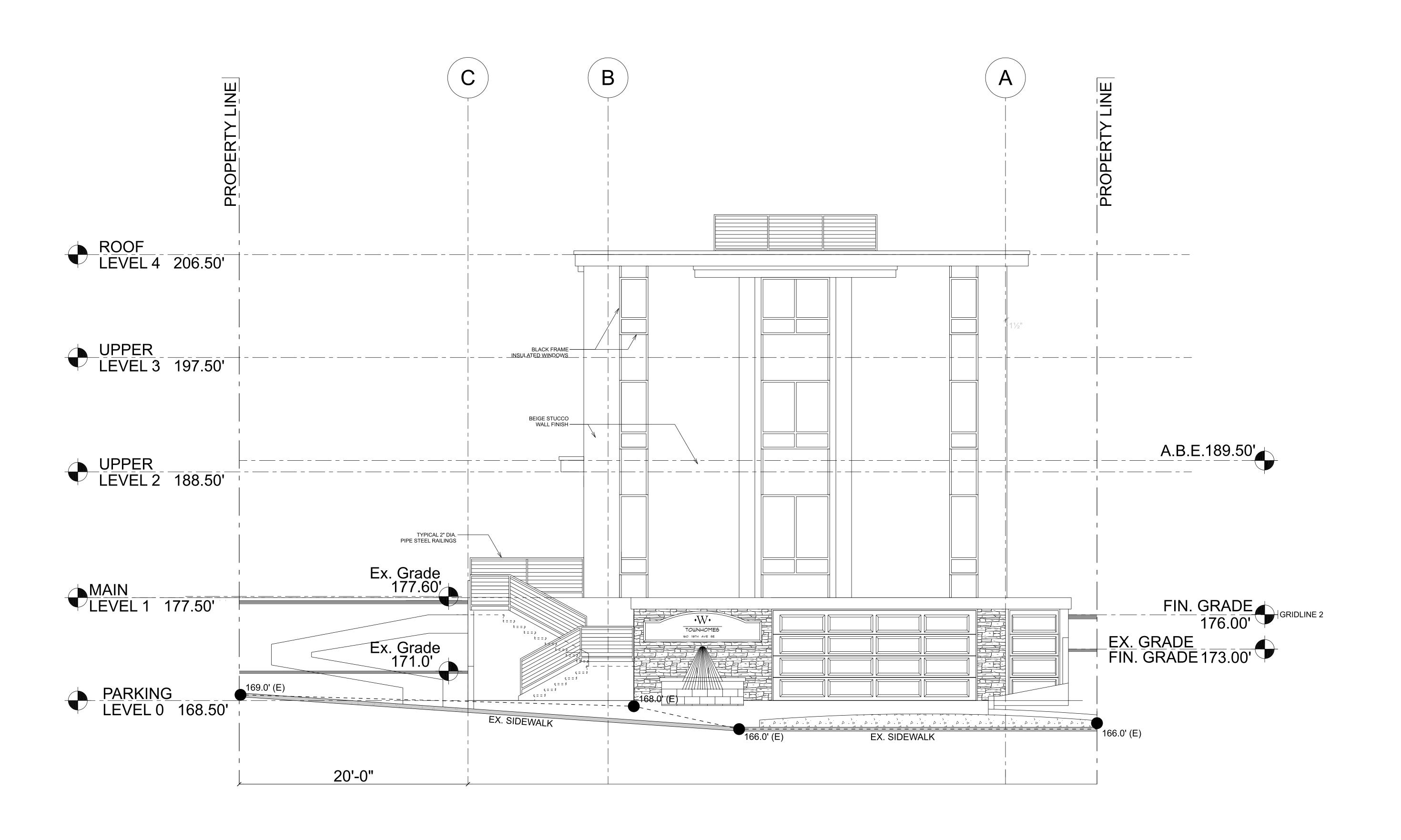
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PARTIAL NORTH ELEVATION

Sheet Numbe





WEST BUILDING ELEVATION SCALE: 1/4" = 1'-0"

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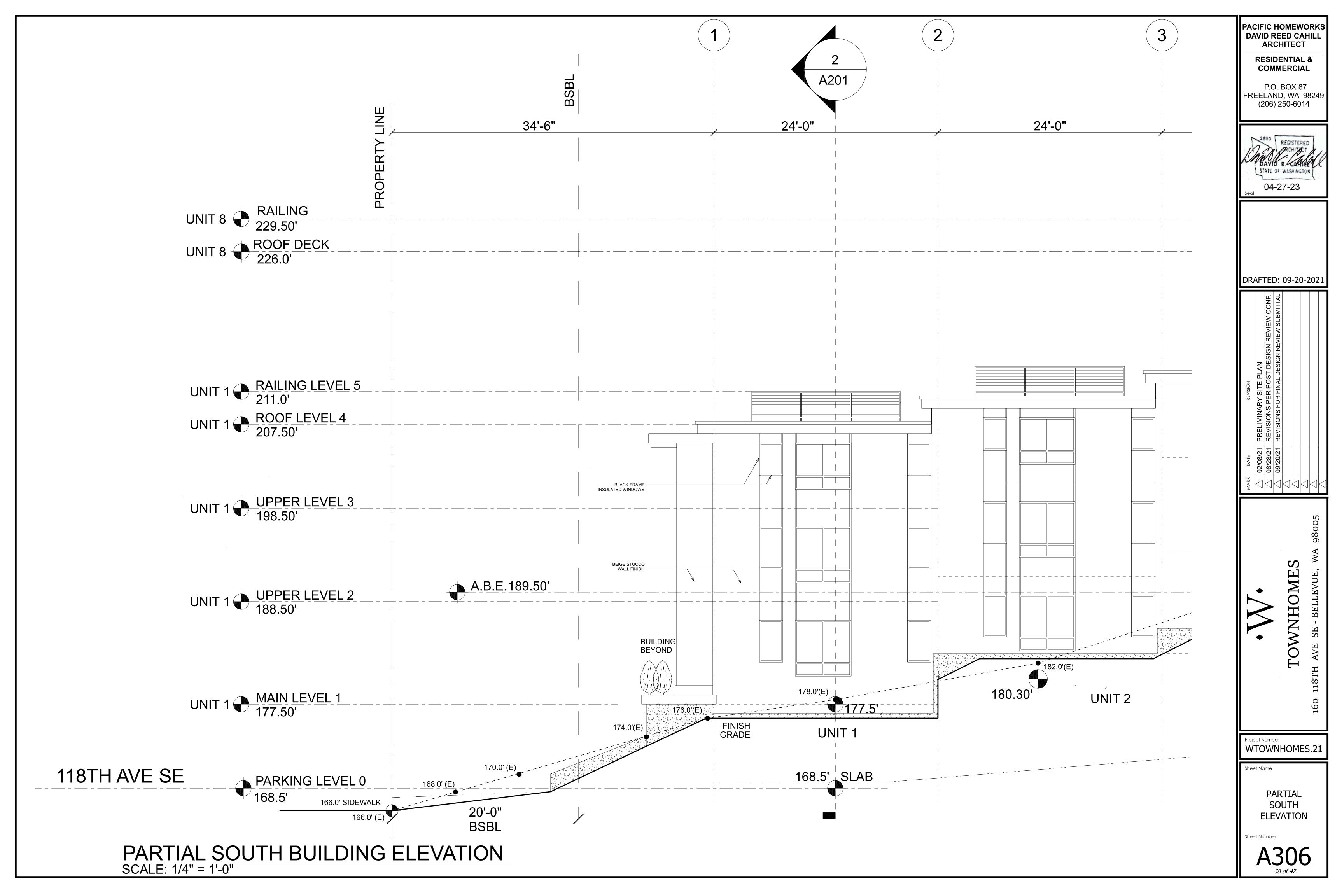
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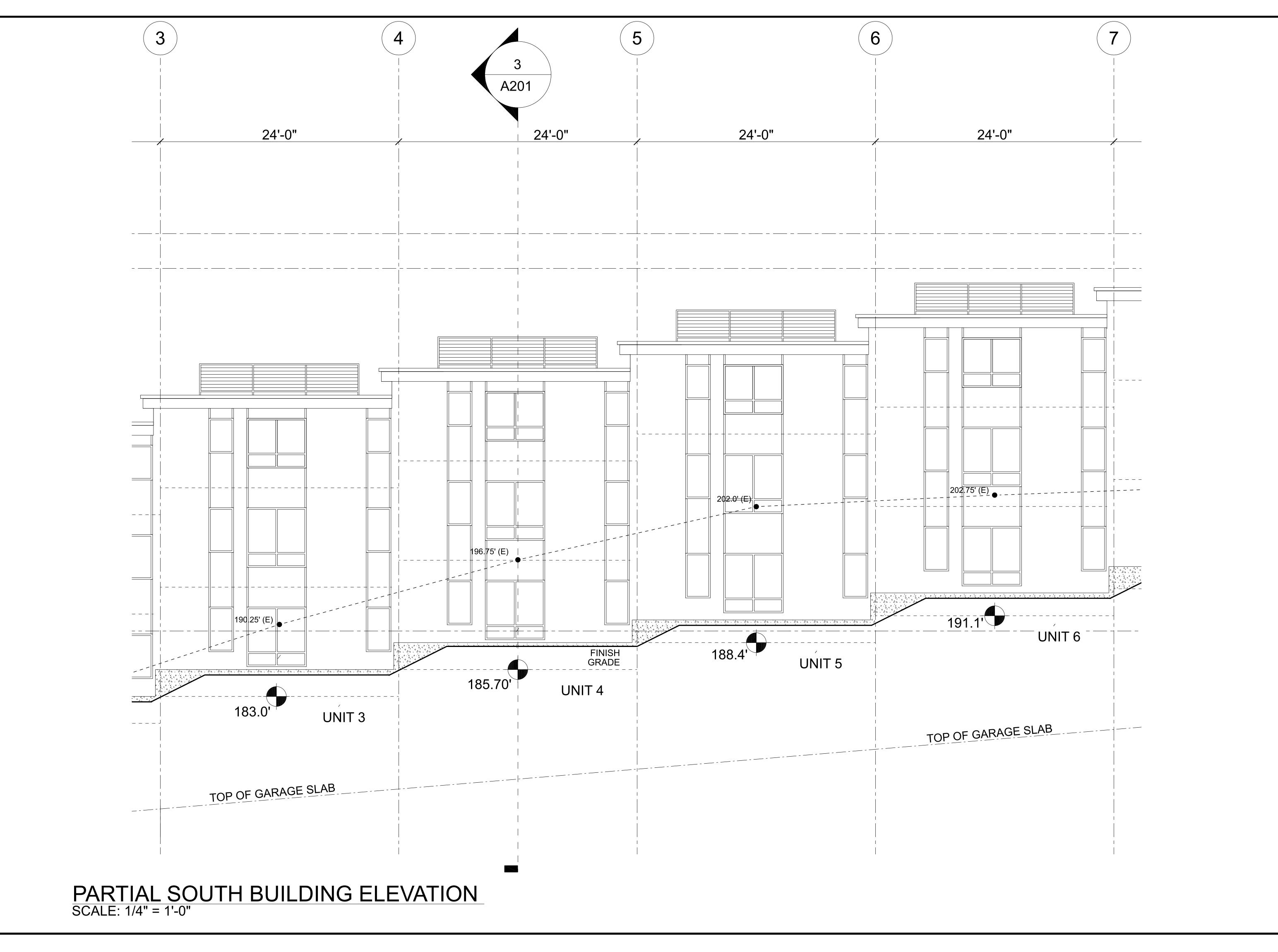
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TOWNHOMES

WTOWNHOMES.21

WEST BUILDING **ELEVATION**





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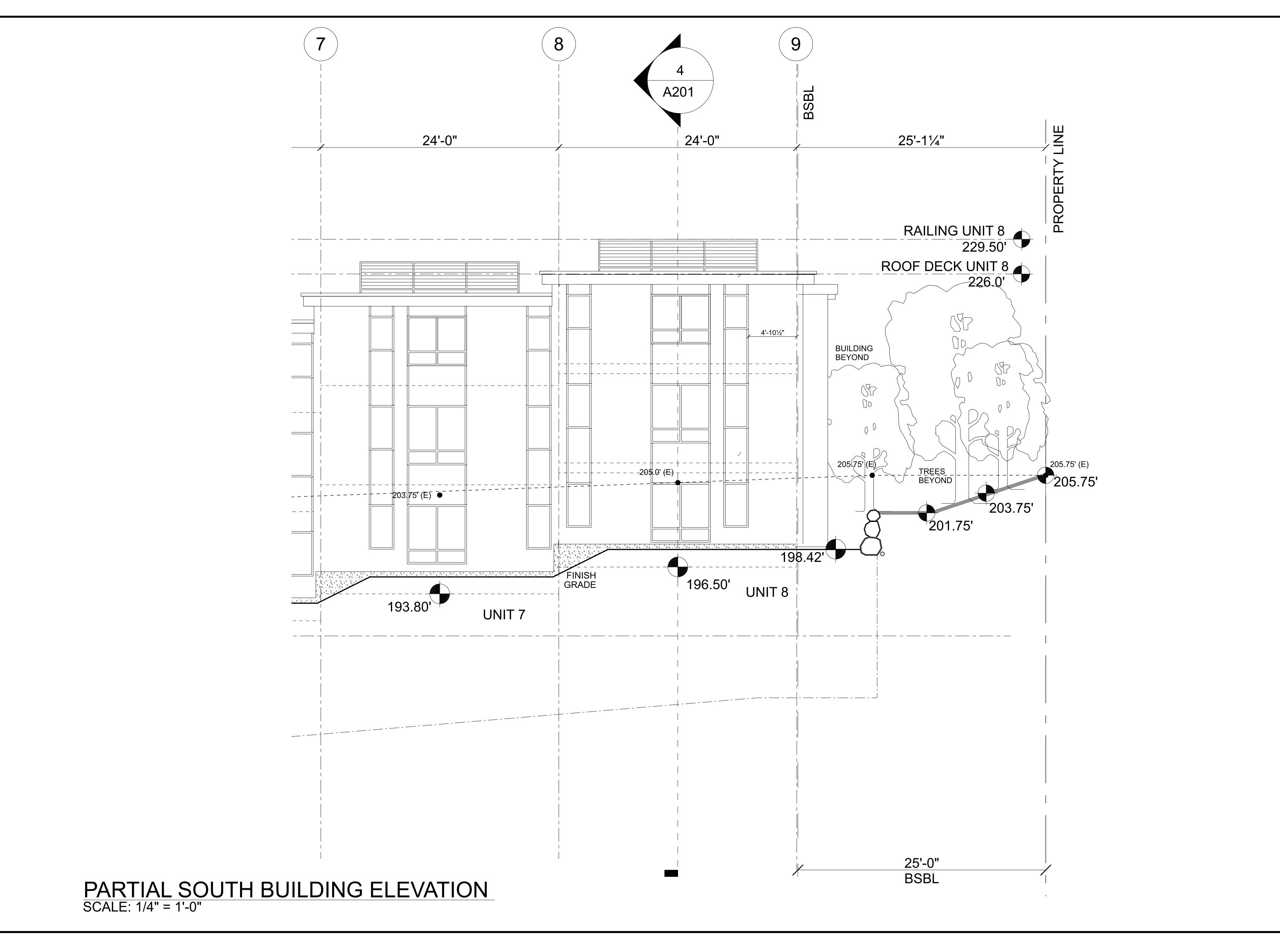
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PARTIAL SOUTH ELEVATION

Sheet Number



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MARK DATE REVISION

O2/08/21 PRELIMINARY SITE PLAN

O8/28/21 REVISIONS PER POST DESIGN REVIEW CONF.

O9/20/21 REVISIONS FOR FINAL DESIGN REVIEW SUBMITTAL

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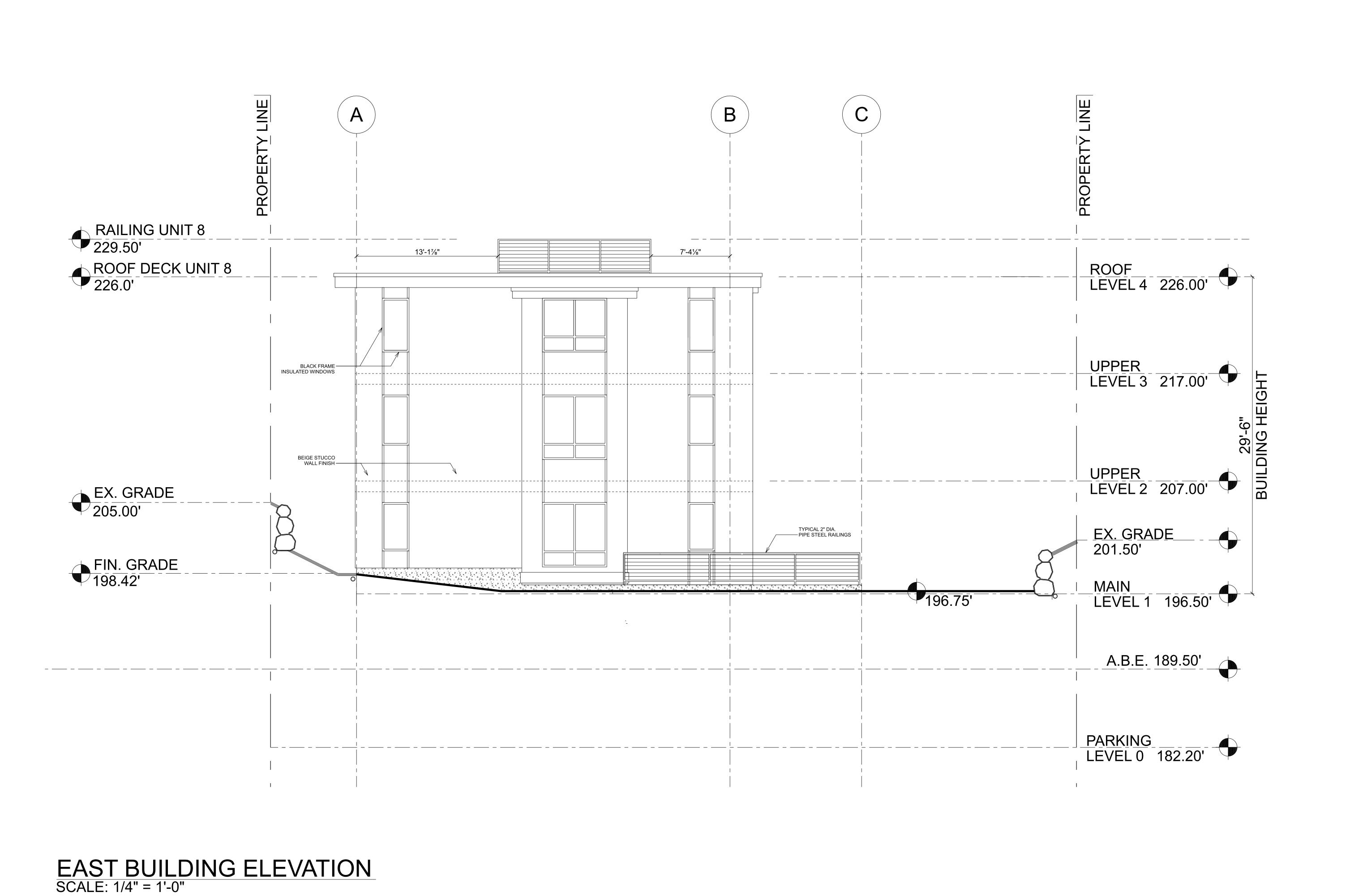
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Project Number
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PARTIAL SOUTH ELEVATION

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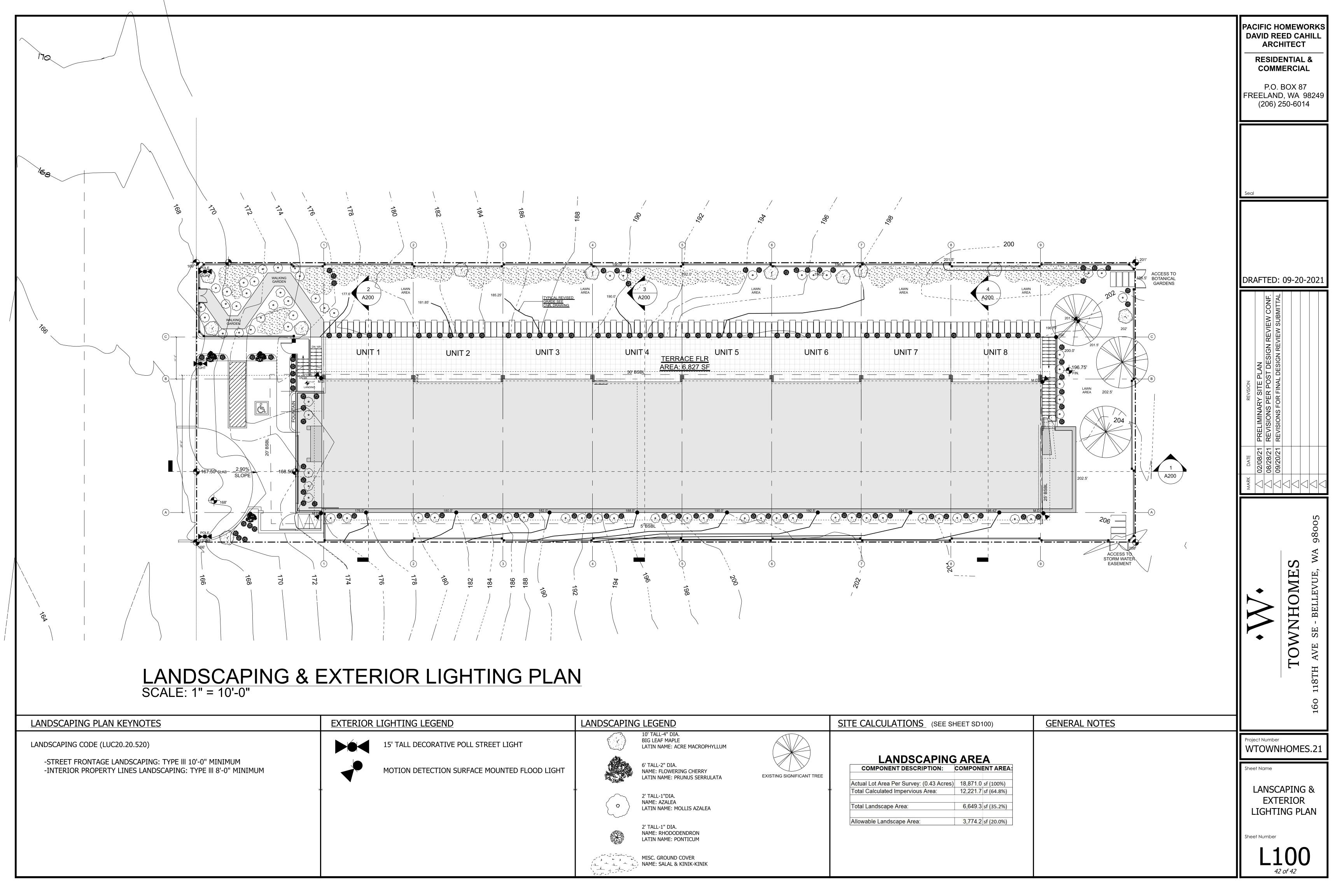
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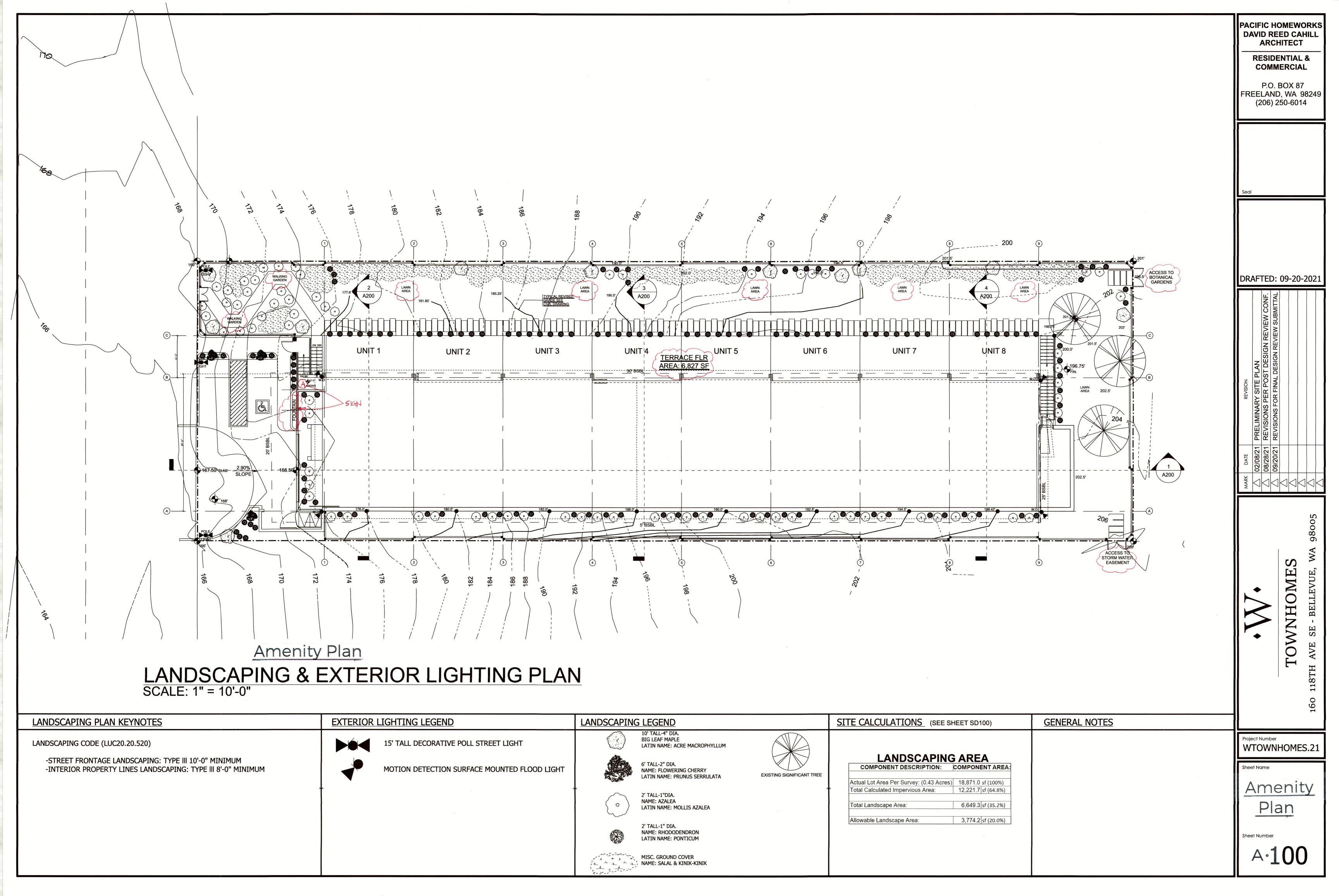
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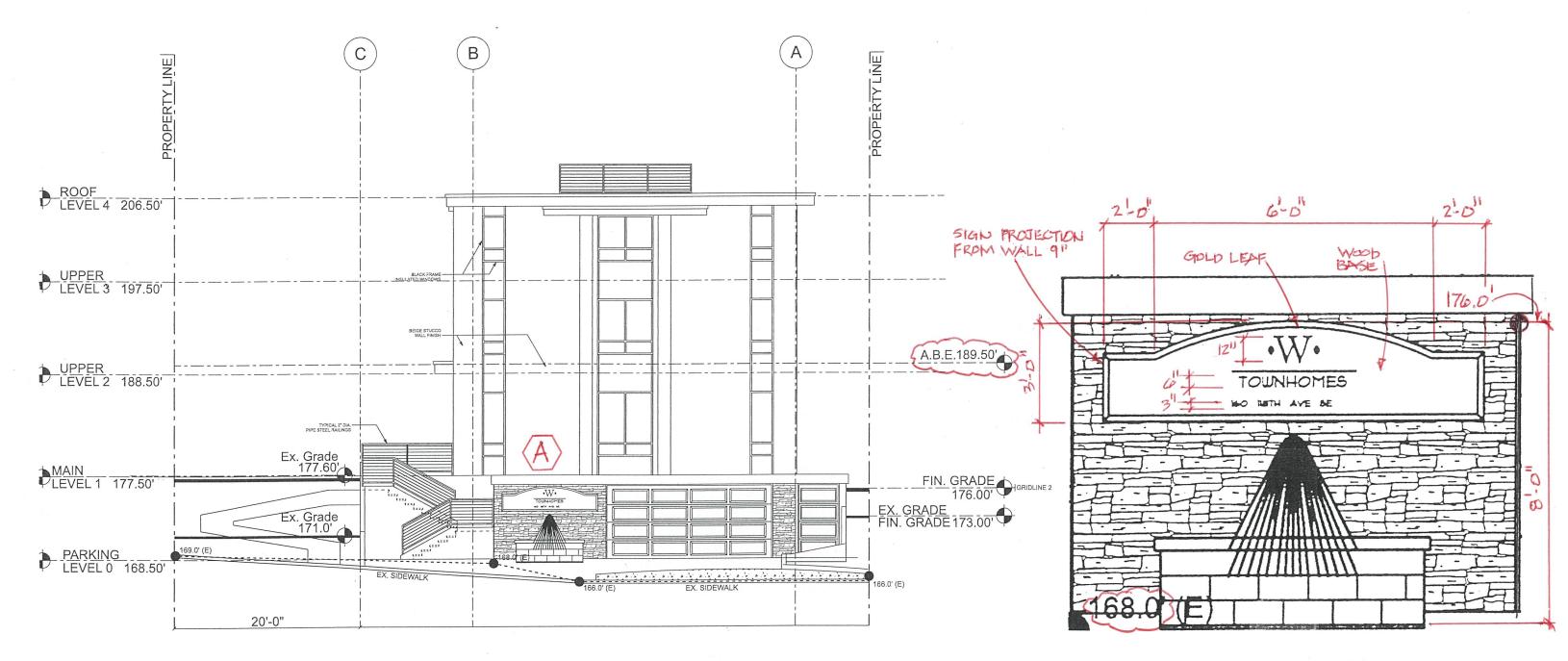
Sheet Name

EAST ELEVATION

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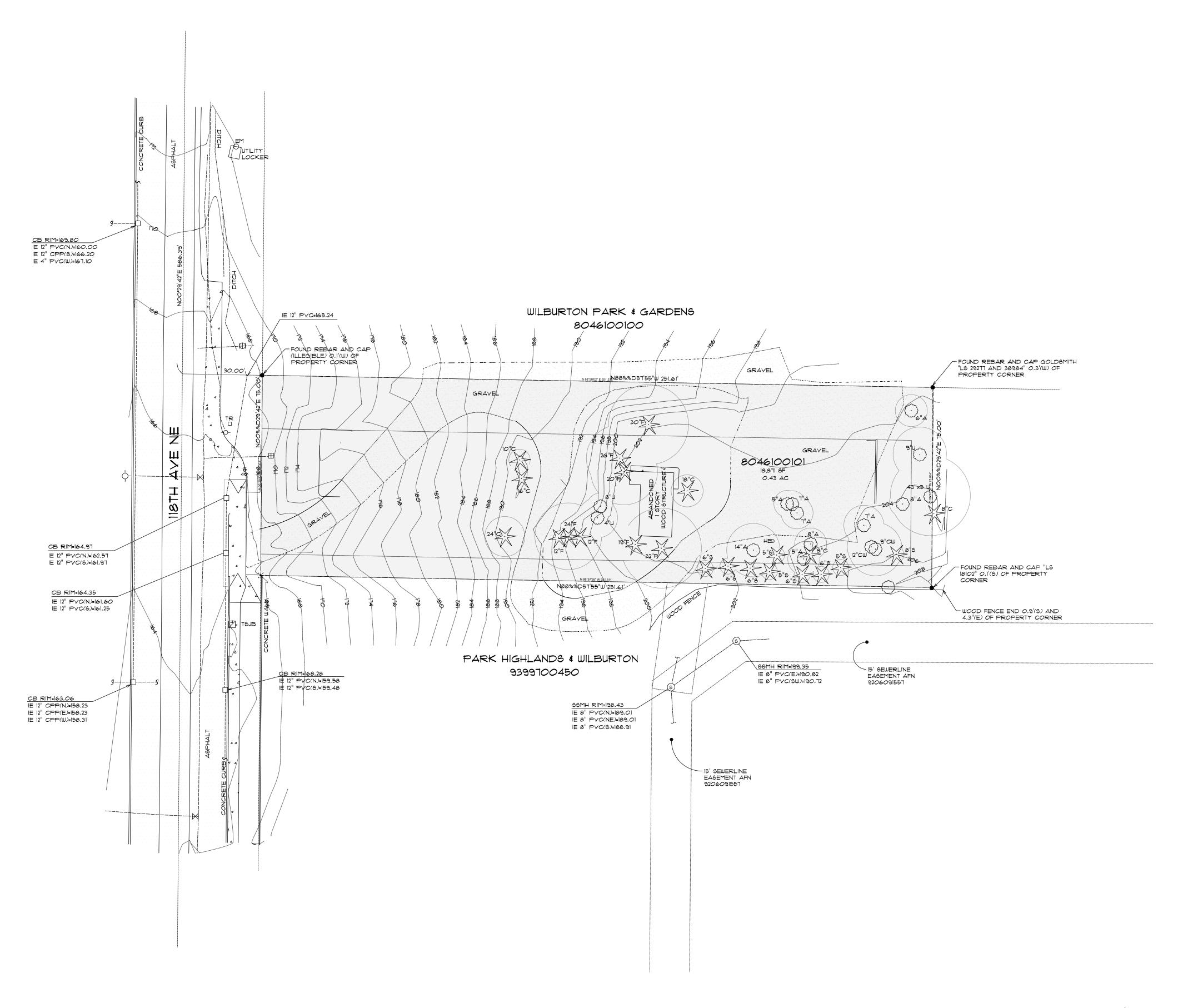




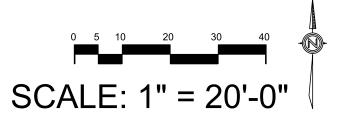
WEST BUILDING ELEVATION

SCALE: 1" = 10'-0"





SITE SURVEY SCALE: 1" = 20'-0"



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TOWNHOMES

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WTOWNHOMES.21

Sheet Name

SITE SURVEY

Sheet Number

T100



WTOWNHOMES 160 118TH AVE SE

PRELIMINARY PLANS

LEGEND AND ABBREVIATIONS

DESCRIPTION

EXISTING REBAR W/CAP, AS NOTED

SET NAIL AND WASHER STAMPED "LS 37536"

FOUND CONCRETE MONUMENT AS NOTED

STORM DRAIN MANHOLE

INVERT/CULVERT

CATCH BASIN

WATER VALVE

FIRE HYDRANT

SANITARY SEWER MANHOLE

MAILBOX SIGN POST

UTILITY/POWER POLE

GUY ANCHOR

TRAFFIC SIGNAL JUNCTION BOX

ELECTRICAL MANHOLE

TELEPHONE RISER

GAS VALVE

HOSE BIB

CONIFEROUS TREE

DECIDUOUS TREE

TYPE 1 CATCH BASIN, GRATED LID

TYPE 1 CATCH BASIN, SOLID LID

TYPE 2 CATCH BASIN, GRATED LID

TYPE 2 CATCH BASIN, SOLID LID

BEEHIVE MANHOLE COVER

SQUARE YARD DRAIN

ROUND YARD DRAIN

STORM CLEAN OUT

DESCRIPTION

SEWER CAP

SEWER CLEANOUT

SEWER MANHOLE

SEWER PIPE

PROPOSED STORM SYMBOLS

EXISTING SYMBOLS

SYMBOL

TSJB 🛮

 $TR \square$

SYMBOL

ABBREVIATIONS

CATCH BASIN

CENTERLINE

CORRUGATED METAL PIPE

CONCRETE PIPE

ELEVATION

EXISTING

FLOWLINE INVERT ELEVATION

LINE CORRUGATED POLYETHYLENE

PROPERTY LINE POWER POLE

POLYVINYL CHLORIDE PIPE

RIGHT-OF-WAY

STATION

STORM DRAIN

SANITARY SEWER

SANITARY SEWER MANHOLE

SOLID WALL POLYETHYLENE PIPE

TO BE REMOVED

DESCRIPTION

WATER CAP

CONCRETE BLOCKING

BUTTERFLY VALVE

11' BEND

45' BEND

90' BEND

22' BEND

VALVE

HYDRANT ASSEMBLY

BLOW-OFF VALVE

REDUCER

AIR-VAC ASSEMBLY WATER METER

WATER PIPE

DESCRIPTION

IN PROPOSED ROAD

PROJECT INFORMATION

160 118TH AVE SE

BELLEVUE, WA 98005

18,871 SF 0.43 AC

CITY OF BELLEVUE

CITY OF BELLEVUE

PUGET SOUND ENERGY

PUGET SOUND ENERGY

BELLEVUE SCHOOL DISTRICT

BELLEVUE FIRE DEPARTMENT

R-1

SINGLE FAMILY RESIDENTIAL

SINGLE FAMILY RESIDENTIAL

SITE ADDRESS:

TAX PARCELS:

EXISTING USE:

PROPOSED USE:

CURRENT ZONING:

PROPOSED ZONING:

SITE AREA:

WATER:

SEWER:

POWER:

TELEPHONE:

SCHOOL DISTRICT:

REQUIRED MINIMUM SETBACKS:

REAR:

SIDE:

FIRE DISTRICT:

GAS:

PROPOSED SURVEY SYMBOLS

PROPOSED WATER SYMBOLS

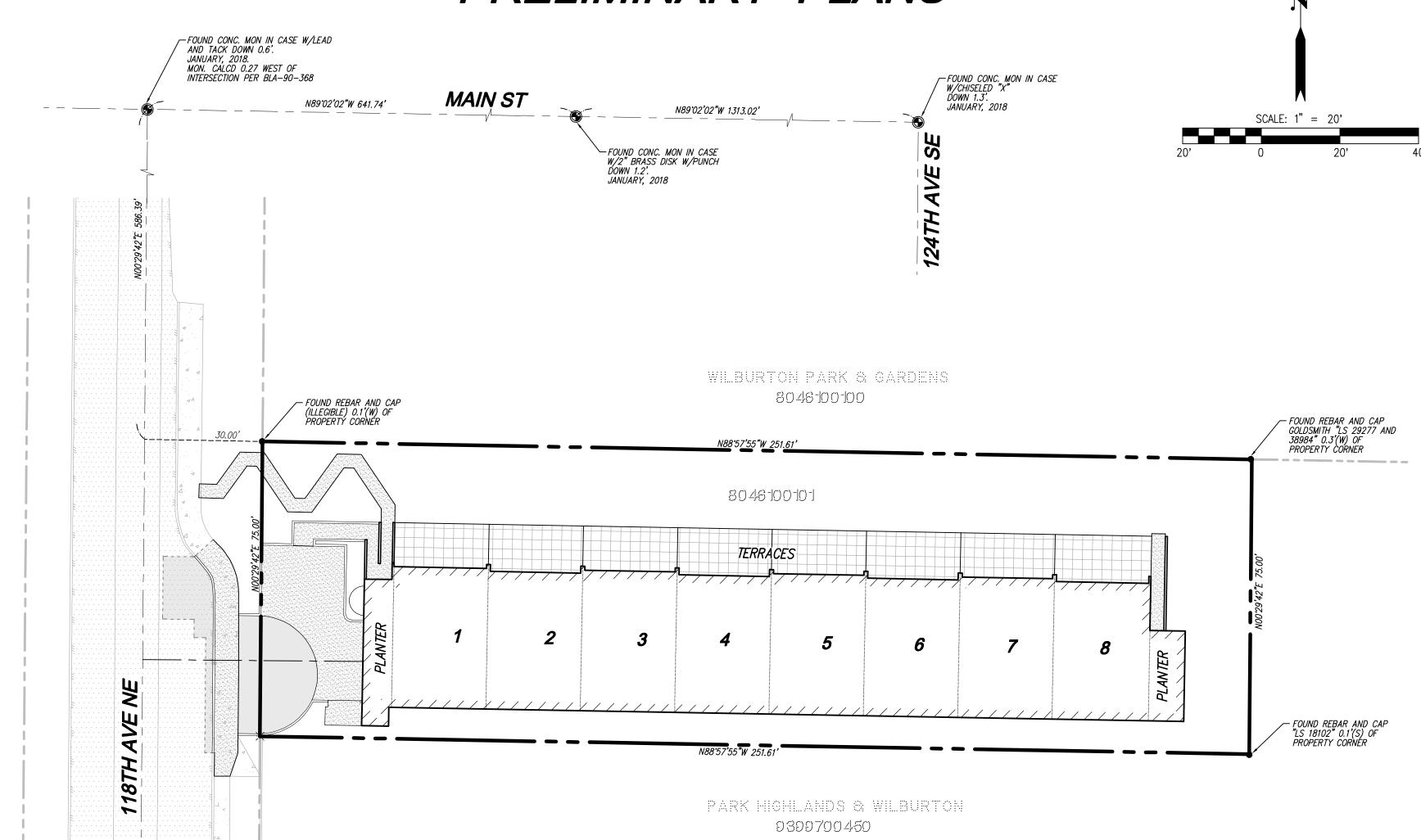


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SITE PLAN

TESC PLAN

COVER SHEET

EXISTING CONDITIONS MAP

TESC NOTES AND DETAILS

HORIZONTAL CONTROL PLAN

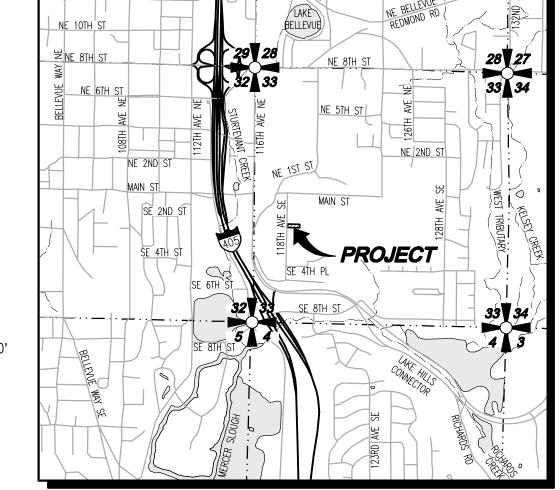
STORM DRAINAGE PROFILES

WATER AND SEWER PLAN

NOTES AND DETAILS

ROAD, STORM DRAINAGE AND GRADING PLAN

WATER AND SEWER NOTES AND DETAILS



VICINITY MAP

SURVEY INFORMATION

LEGAL DESCRIPTION

THE SOUTH 75 FEET OF THE WEST 251.6 FEET OF LOT 5 STRAWBERRY LANE ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 4 OF PLATS, PAGE 30 1/2, RECORDS OF KING COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON

VERTICAL DATUM / NAVD 88

FOUND CONC. MON IN CASE W/LEAD AND TACK AT INTERSECTION OF MAIN ST. AND 118TH AVE. S.E. PER GPS OBSERVATIONS:

CITY OF BELLEVUE HORIZONTAL STATION: 1520

EQUIPMENT & PROCEDURES

METHOD OF SURVEY: SURVEY PERFORMED BY FIELD TRAVERSE

INSTRUMENTATION: LEICA TS15 ROBOTIC ELECTRONIC TOTAL STATION

PRECISION:
MEETS OR EXCEEDS STATE STANDARDS WAC 332-130-090

BASIS OF BEARING: THE MONUMENTED CENTERLINE OF MAIN ST., AS THE BEARING OF N 89°02'02" W.

CONTACT LIST

APPLICANT/OWNER: MEYDENBAUER GROUP 12025 WILLOWS RD, REDMOND, WA 98052 CONTACT: JOHN HANSEN PHONE: (425) 609-4440

SURVEYOR: PACIFIC COAST SURVEYS, INC. P.O. BOX 13619 MILL CREEK, WA 98082 CONTACT: DARREN RIDDLE, PLS PHONE: (425) 512-7099 FAX: (425) 357-3577

EMAIL: darren@pcsurveys.net

CIVIL ENGINEER: LDC, INC. 20210 142ND AVE NE WOODINVILLE, WASHINGTON 98072 CONTACT: SANG PARK, PE PHONE: (425) 806-1869

EMAIL: john@meydenbauergroup.com FAX: (425) 482-2893 EMAIL: spark@ldccorp.com

118TH AVE SE YDENBAUER 88

یمر Dia		C	S-	0 ′	ſ
	l	JURISDIC ¹	TION: CITY	OF BEL	LEV
		SCALE:		1'	, = <u>/</u>
		DATE:		9-2	1 –
		DRAFTING	BY:		С
		DESIGNER).		
		DRAWING	NAME: 02	21145P-	CS-

JOB NUMBER:

SHEET 1 OF 11

UTILITY NOTE

EARTHWORK QUANTITIES

FILL:

NET:

STRIPPINGS:

4,500 CY

4,500 CY

349 CY

EARTHWORK QUANTITIES FOR PERMITTING ONLY

DISTURBED AREA: 21,047 SF (0.48 AC)

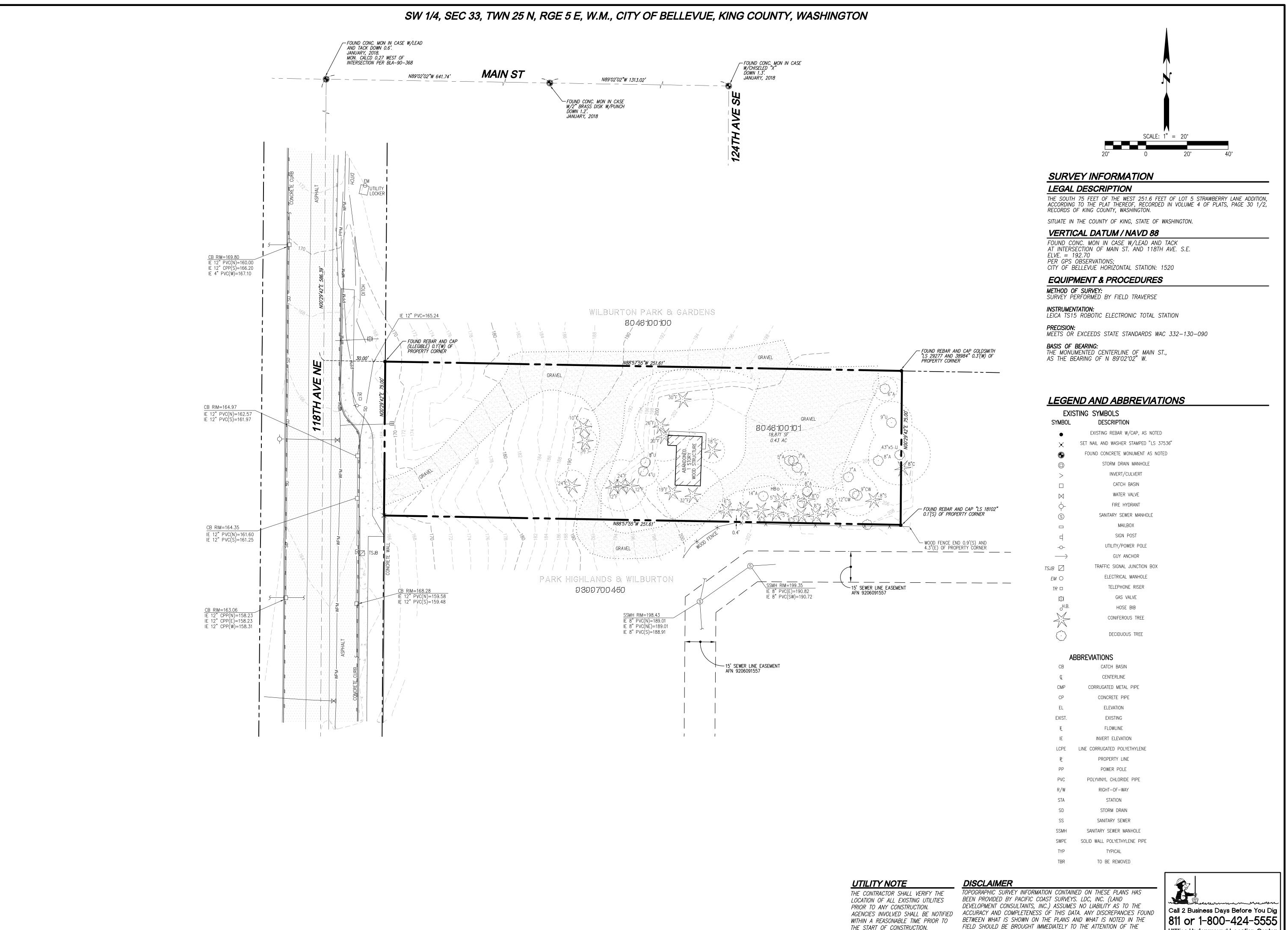
0 CY

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

DISCLAIMER

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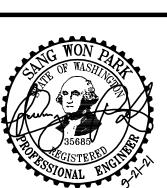
Call 2 Business Days Before You Dig | 811 or 1-800-424-5555 | Utilities Underground Location Center



THE START OF CONSTRUCTION.

ENGINEER.

YDENBAUER

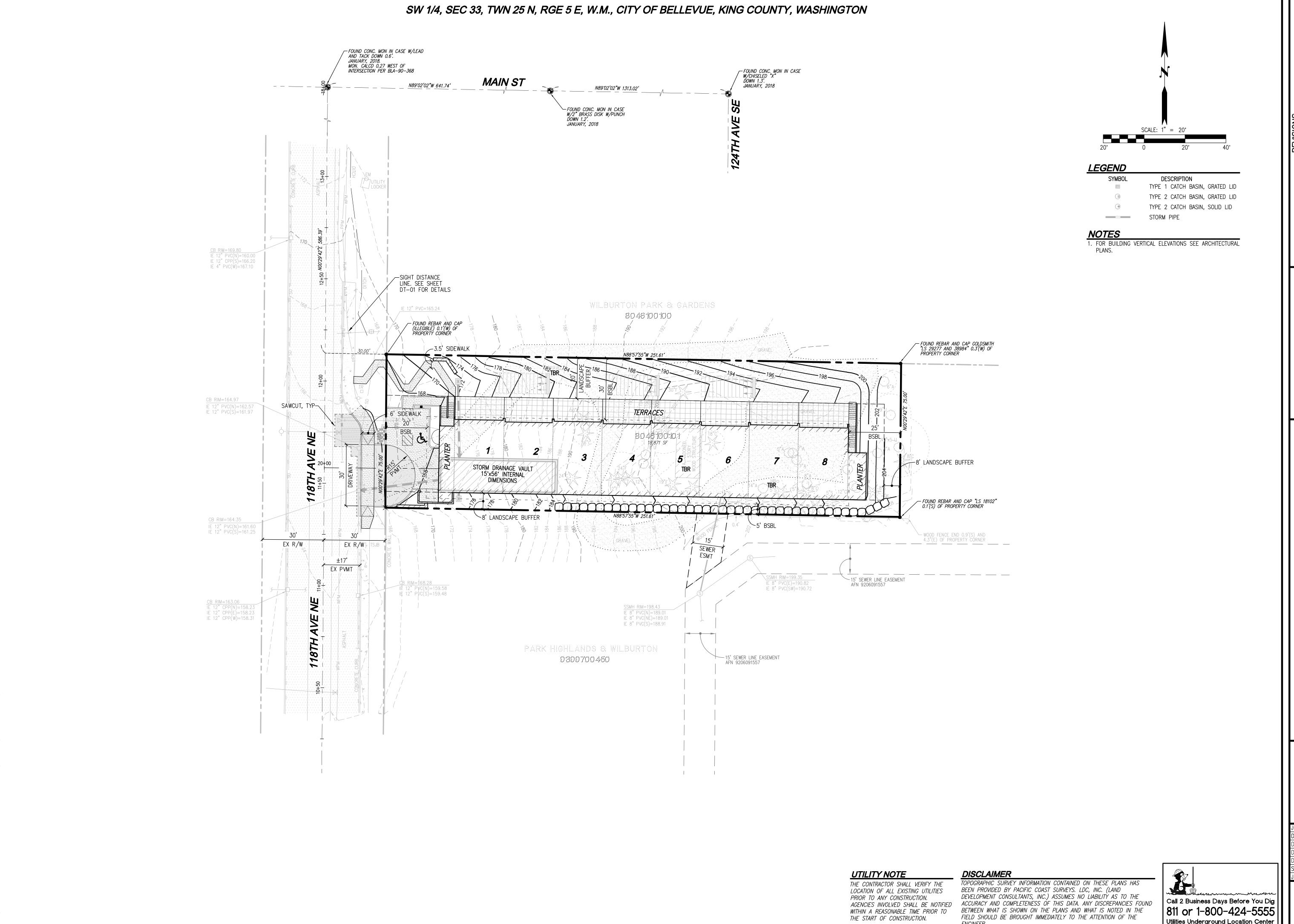


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DRAWING NAME:	C21145P-T0-I
DESIGNER:	
DRAFTING BY:	C.A
DATE:	9-21-
SCALE:	1"=2

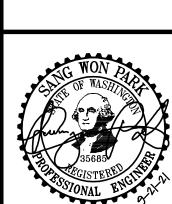
JURISDICTION: CITY OF BELLEV

SHEET **2** OF **11**

Utilities Underground Location Center



MEYDENBAUER

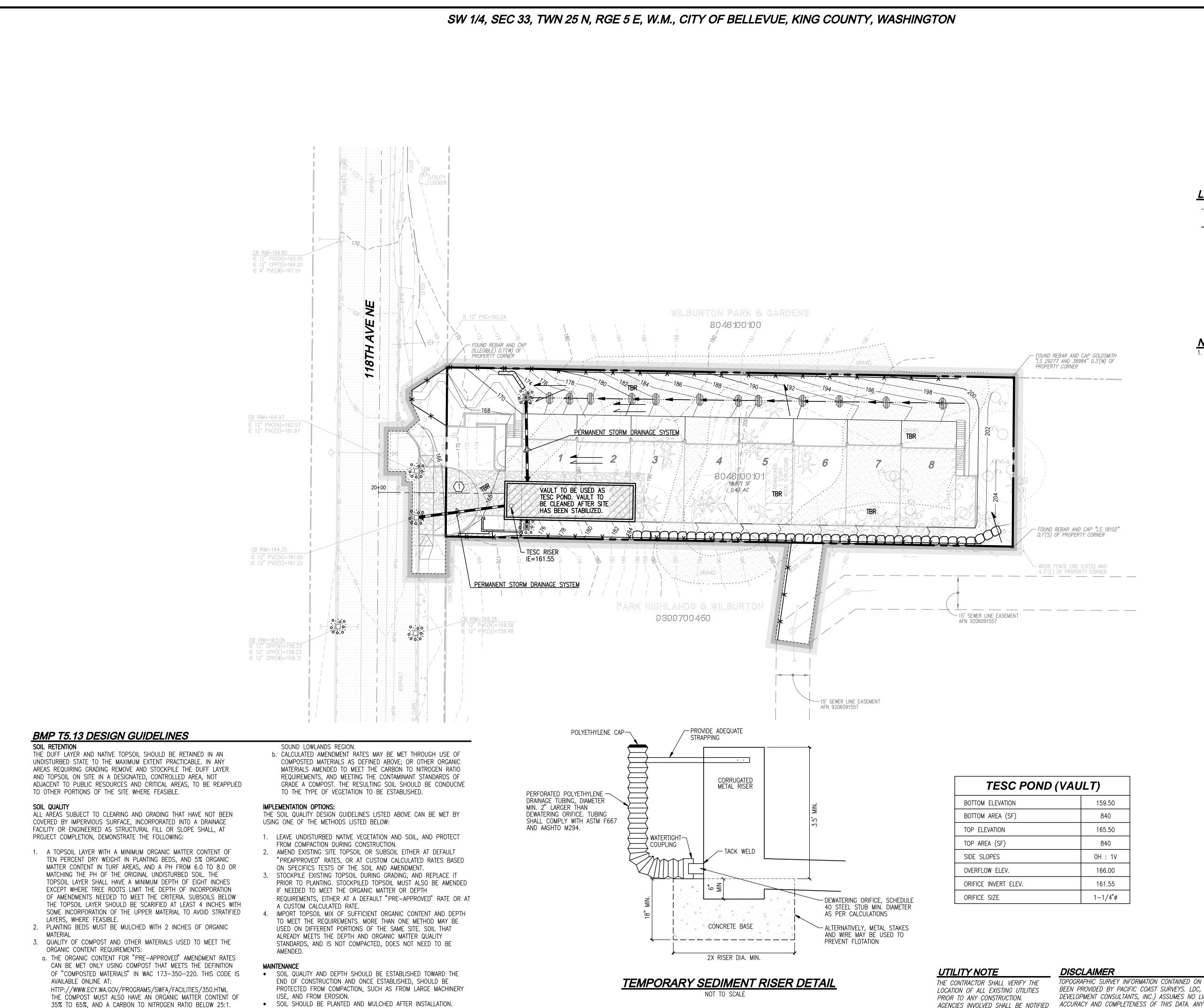


JOB NUMBER: C21-1
DRAWING NAME: C21145P-SP-
DESIGNER:
DRAFTING BY:
DATE: 9-21-
SCALE: 1"=:
JURISDICTION: CITY OF BELLEN

SHEET **3** OF **11**

811 or 1-800-424-5555 Utilities Underground Location Center

ENGINEER.

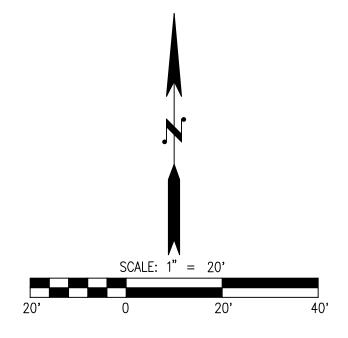


PLANT DEBRIS OR ITS EQUIVALENT SHOULD BE LEFT ON THE SOIL

SURFACE TO REPLENISH ORGANIC MATTER.

THE CARBON TO NITROGEN RATIO MAY BE AS HIGH AS 35:1 FOR

PLANTINGS COMPOSED ENTIRELY OF PLANTS NATIVE TO THE PUGET



LEGEND

CLEARING LIMITS X X SILT FENCE ROCK CONSTRUCTION ENTRANCE CATCH BASIN PROTECTION PRE DEVELOPMENT DRAINAGE PATTERN POST DEVELOPMENT DRAINAGE PATTERN

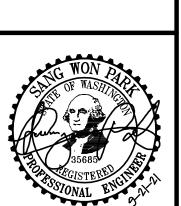
1. ALL PERVIOUS AREAS TO BE UNDERLAIN WITH BMP T5.13 SOILS.

INSTALL CHECK DAM EVERY 100' OR 2' OF ELEVATION CHANGE

TOWNHOMES

118TH AVE SE

YDENBAUER



JOB NUMBER:	C21-145
DRAWING NAME: C	21145P-ER-PL
DESIGNER:	
DRAFTING BY:	CAF
DATE:	9-21-21
SCALE:	1"=20'
JURISDICTION: CITY	OF BELLEVUE
SCALE:	1"=20'

ER-01

AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

ENGINEER.

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SW 1/4, SEC 33, TWN 25 N, RGE 5 E, W.M., CITY OF BELLEVUE, KING COUNTY, WASHINGTON

STANDARD EROSION CONTROL NOTES

- ALL CLEARING & GRADING CONSTRUCTION MUST BE IN ACCORDANCE WITH CITY OF BELLEVUE (COB) CLEARING & GRADING CODE, CLEARING & GRADING DEVELOPMENT STANDARDS, LAND USE CODE, UNIFORM BUILDING CODE, PERMIT CONDITIONS AND ALL OTHER APPLICABLE CODES, ORDINANCES AND STANDARDS. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THESE REQUIREMENTS ANY VARIANCE FROM ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF BELLEVUE DEVELOPMENT SERVICES DEPARTMENT PRIOR TO CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO THE CITY OF BELLEVUE.
- APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DÉAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTERS, CHANNELS. RETENTION FACILITIES. UTILITIES. ÈTC.
- A COPY OF THE APPROVED PLANS AND DRAWINGS MUST BE ON SITE DURING CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO
- BEGINNING CONSTRUCTION. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM OR ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT—LADEN WATER DO NOT
- ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT
- SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE
- APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION. CLEARING SHALL BE LIMITED TO THE AREAS WITHIN THE APPROVED DISTURBANCE LIMITS. EXPOSED SOILS MUST BE COVERED AT THE END OF EACH WORKING DAY WHEN WORKING FROM OCTOBER 1 THROUGH APRIL 30. FROM MAY 1 THROUGH SEPTEMBER 30, EXPOSED SOILS MUST BE COVERED AT THE END OF
- EACH CONSTRUCTION WEEK AND ALSO AT THE THREAT OF RAIN. 10. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO
- PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM 11. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND
- MAINTAINED FOR THE DURATION OF THE PROJECT. 12. THE CONTRACTOR MUST MAINTAIN A SWEEPER ON SITE DURING EARTHWORK AND IMMEDIATELY REMOVE SOIL THAT HAS BEEN TRACKED ONTO PAVED AREAS AS RESULT OF CONSTRUCTION.
- 13. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. 14. ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING & GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIAL MUST BE APPROVED BY THE CLEARING &
- GRADING INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY STOCKPILING THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A
- 16. FINAL SITE GRADING MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM 5% SLOPE, PER THE INTERNATIONAL RESIDENTIAL CODE (IRC) R401.3

MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT.

EROSION, SEDIMENTATION AND WATER QUALITY SITE INSPECTIONS

PRIOR TO ANY SITE DEVELOPMENT WORK TAKING PLACE, A PRE-CONSTRUCTION MEETING WITH THE CONTRACTOR, OWNER, AND COUNTY INSPECTOR SHALL BE HELD.

THE DEPARTMENT OF ECOLOGY REQUIRES THAT CONSTRUCTION PROJECTS ONE ACRE OR LARGER RETAIN A CESCL TO ENSURE THAT THE PROJECT IS IN COMPLIANCE WITH THE CURRENT EROSION, SEDIMENTATION AND WATER QUALITY STANDARDS. THE OWNER WILL DESIGNATE A CESCL FOR THIS PROJECT. THE 24 HOUR CONTACT IS TBD.

THE CESCL IS RESPONSIBLE FOR

POTENTIAL TO GENERATE ADDITIONAL SEDIMENT.

SILT FENCE

A. INSPECTING THE CONSTRUCTION SITE TO ENSURE THAT ALL CONSTRUCTION SWPPP MEASURES ARE FUNCTIONING AS INTENDED. B. ALLOCATING RESOURCES TO REPAIR ALL EROSION CONTROL STRUCTURES THAT ARE IN NEED OF MAINTENANCE. . MONITORING WATER QUALITY FOR ANY STORM DRAINAGE THAT LEAVES THE SITE. D. STOPPING AND/OR REDIRECTING CONSTRUCTION ACTIVITIES DEEMED NECESSARY TO PROTECT THE ENVIRONMENT. SHOULD BMP PERFORMANCE GOALS NOT BE ACHIEVED, THE ONLY CONSTRUCTION ACTIVITIES THAT SHALL BE ALLOWED ARE THE REPAIR OF EXISTING EROSION CONTROL STRUCTURES, INSTALLATION OF ADDITIONAL BMP'S TO MINIMIZE THE TRANSPORT OF SEDIMENT OFFSITE, OR THOSE ACTIVITIES THAT DO NOT DISTURB EXPOSED EARTH AND DO NOT HAVE THE

THE THIRTEEN ELEMENTS OF A CONSTRUCTION SWPPP

- THE BMPS REFERENCED BELOW ARE PER THE 2019 STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON
- 1. MARK CLEARING LIMITS: THE CLEARING LIMITS ARE INDICATED ON THE PLAN SHEET. CLEARING AND GRADING WILL BE LIMITED TO ONLY AREAS THAT NEED TO BE DISTURBED FOR GRADING, AND PLACING OR STOCK PILING FILL AND TO PRESERVE AS MUCH NATURAL VEGETATION AND THE DUFF LAYER AS POSSIBLE. FIELD MARKING THE CLEARING LIMITS SHALL BE COMPLETED PRIOR TO ANY CLEARING OR DISTURBING THE SITE. HIGH VISIBILITY PLASTIC OR METAL FENCE C233
- 2. ESTABLISH CONSTRUCTION ACCESS: ACCESS TO THE CONSTRUCTION SITE SHALL BE LIMITED TO THE ROCK CONSTRUCTION ENTRANCES. C105 STABILIZED CONSTRUCTION ENTRANCE
- CONTROL FLOW RATES: NO SIGNIFICANT FLOW RATES ARE EXPECTED TO LEAVE THE SITE. FLOWS WILL DISPERSE ACROSS NATIVE VEGETATION
- 4. INSTALL SEDIMENT CONTROLS: SEDIMENT CONTROL WILL BE PROVIDED THROUGH THE USE OF SILT FENCE. C233 SILT FENCE
- 5. STABILIZE SOILS: TEMPORARY AND PERMANENT SOIL STABILIZATION WILL BE PROVIDED. TEMPORARY STABILIZATION WILL BE PROVIDED TO EXPOSED WORKED EARTH. FROM OCTOBER 1 UNTIL APRIL 30, NO EXPOSED SOIL MAY REMAIN EXPOSED AND UNWORKED FOR MORE THAN TWO DAYS; FROM MAY 1 UNTIL SEPTEMBER 30, NO EXPOSED SOIL MAY REMAIN EXPOSED AND UNWORKED FOR MORE THAN SEVEN DAYS.
 - C120 TEMPORARY AND PERMANENT SEEDING C121 MULCHING C123 PLASTIC COVERING
- 6. PROTECT SLOPES: SLOPES SHALL BE PROTECTED FROM EROSION THROUGH COVER AND SOIL STABILIZATION.
- C120 TEMPORARY AND PERMANENT SEEDING C121 C123 MULCHING PLASTIC COVERING

MULCHING

- 7. PROTECT DRAIN INLETS: INLET PROTECTION SHALL BE INSTALLED IN ALL CATCH BASINS AND REMAIN UNTIL CONSTRUCTION OF ALL THE RESIDENCES WITHIN THE DEVELOPMENT HAS BEEN COMPLETED. INLET PROTECTION SHALL BE INSPECTED REGULARLY AND THE FILTER FABRIC CLEANED/REPLACED AS NECESSARY. WHEN PROVIDING MAINTENANCE TO THE INLET PROTECTION, THE FABRIC SHALL BE REMOVED IN SUCH A WAY AS TO NOT ALLOW THE RETAINED SEDIMENT TO FALL INTO THE CATCH BASIN. STORM DRAIN INLET PROTECTION
- STABILIZE CHANNELS AND OUTLETS: ALL CHANNEL SLOPES SHALL BE CONSTRUCTED AND PROTECTED AGAINST EROSION. BMPS: TEMPORARY AND PERMANENT SEEDING
- 9. CONTROL POLLUTANTS: POLLUTANTS SHALL BE CONTROLLED PER POLLUTANT CONTROL NOTES. SEE THIS SHEET FOR
- 10. CONTROL DE-WATERING: DISPOSAL OPTIONS FOR DE-WATERING WATER ARE AS SPECIFIED IN THE DE-WATERING CONTROL NOTES. SEE THIS SHEET FOR NOTES. C151 CONCRETE HANDLING
- 11. MAINTAIN BMPS: MAINTENANCE OF THE BMPS IS SPECIFIED IN THE CONSTRUCTION SEQUENCE AND GRADING AND EROSION CONTROL NOTES, SEE SHEET ER-01 AND THIS SHEET.
- 12. PROJECT MANAGEMENT: THE GRADING AND EROSION CONTROL NOTES SPECIFY SEASONAL WORK LIMITATIONS. BMPS SHALL BE MAINTAINED PER ELEMENT #11.
- 13. PROTECT LID BMPS: LID BMPS SHALL BE PROTECTED WITH PROTECTION FROM SOIL COMPACTION WITH PLASTIC COVERING AND HIGH VISIBILITY FENCING AS NECESSARY.

DE-WATERING CONTROL NOTES

ALL TURBID DE-WATERING WATER SHALL BE DISPOSED OF USING ONE OF THE FOLLOWING OPTIONS:

- TRANSPORT OFFSITE IN A VEHICLE, SUCH AS A VACUUM FLUSH TRUCK, FOR LEGAL DISPOSAL IN A MANNER THAT DOES NOT POLLUTE STATE WATERS.
- ECOLOGY-APPROVED ON-SITE CHEMICAL TREATMENT OR OTHER SUITABLE TREATMENT TECHNOLOGIES
- SANITARY SEWER DISCHARGE WITH LOCAL SEWER DISTRICT APPROVAL, IF THERE IS NO OTHER OPTION, USE OF A SEDIMENTATION BAG WITH OUTFALL TO A DITCH OR SWALE FOR SMALL VOLUMES OF LOCALIZED
- FOUNDATION, VAULT, AND TRENCH DE-WATERING WATER, WHICH HAVE SIMILAR CHARACTERISTICS TO STORMWATER RUNOFF AT THE SITE, SHALL BE DISPERSED TO NATIVE VEGETATION AND/ OR DISCHARGED TO A SEDIMENTATION

POLLUTANT CONTROL NOTES

- ALL POLLUTANTS, INCLUDING WASTE MATERIALS AND DEMOLITION DEBRIS, THAT OCCUR ON-SITE SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER. WOODY DEBRIS MAY BE CHOPPED AND SPREAD ON SITE.
- 2. COVER, CONTAINMENT AND PROTECTION FROM VANDALISM SHALL BE PROVIDED FOR ALL CHEMICALS, LIQUID PRODUCTS, PETROLEUM PRODUCTS, AND NON-INERT WASTES PRESENT ON THE SITE (SEE CHAPTER 173-304 WAC FOR THE DEFINITION OF INERT WASTE). ON-SITE FUELING TANKS SHALL INCLUDE SECONDARY CONTAINMENT.
- 3. ALL MAINTENANCE OF HEAVY EQUIPMENT AND VEHICLES SHALL BE DONE OFFSITE 4. ACTIVITIES WHICH MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO STORMWATER RUNOFF MUST BE CONDUCTED USING SPILL PREVENTION MEASURES, SUCH AS DRIP PANS. CONTAMINATED SURFACES SHALL BE CLEANED IMMEDIATELY FOLLOWING ANY DISCHARGE OR SPILL INCIDENT EMERGENCY REPAIRS MAY BE PERFORMED ON-SITE USING TEMPORARY PLASTIC PLACED BENEATH AND, IF RAINING,
- WHEEL WASH OR TIRE BATH WASTEWATER SHALL BE DISCHARGED TO A SEPARATE ON-SITE TREATMENT SYSTEM OR TO THE SANITARY SEWER.
- APPLICATION OF AGRICULTURAL CHEMICALS, INCLUDING FERTILIZERS AND PESTICIDES, SHALL BE CONDUCTED IN A MANNER AND AT APPLICATION RATES THAT WILL NOT RESULT IN LOSS OF CHEMICAL TO STORMWATER RUNOFF. MANUFACTURERS' RECOMMENDATIONS FOR APPLICATION RATES AND PROCEDURES SHALL BE FOLLOWED.
- 7. BMPS SHALL BE USED TO PREVENT OR TREAT CONTAMINATION OF STORMWATER RUNOFF BY PH MODIFYING SOURCES. THESE SOURCES INCLUDE, BUT ARE NOT LIMITED TO, BULK CEMENT, CEMENT KILN DUST, FLY ASH, NEW CONCRETE WASHING AND CURING WATERS, WASTE STREAMS GENERATED FROM CONCRETE GRINDING AND SAWING, EXPOSED AGGREGATE PROCESSES, AND CONCRETE PUMPING AND MIXER WASHOUT WATERS. STORMWATER DISCHARGES SHALL NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF THE WATER QUALITY STANDARD FOR PH IN THE RECEIVING WATER.

MAINTENANCE STANDARDS: . QUARRY SPALLS (OR HOG FUEL) SHALL BE ADDED IF THE PAD IS NO LONGER IN ACCORDANCE WITH THE

- 2. IF THE ENTRANCE IS NOT PREVENTING SEDIMENT FROM BEING TRACKED ONTO PAVEMENT, THEN ALTERNATIVE MEASURES TO KEEP THE STREET'S FREE OF SEDIMENT SHALL BE USED. THIS MAY INCLUDE STREET SWEEPING. AN INCREASE IN THE DIMENSIONS OF THE ENTRANCE, OR THE INSTALLATION OF A WHEEL WASH, IF WASHING IS USED. SHALL BE DONE ON AN AREA COVERED WITH CRUSHED ROCK, AND WASH WATER SHALL DRAIN TO A SEDIMENT TRAP
- 3. ANY SEDIMENT THAT IS TRACKED ONTO PAVEMENT SHALL BE REMOVED IMMEDIATELY BY SWEEPING. THE SEDIMENT COLLECTED BY SWEEPING SHALL BE REMOVED OR STABILIZED ON—SITE. THE PAVEMENT SHALL NOT BE CLEANED BY WASHING DOWN THE STREET, EXCEPT WHEN SWEEPING IS INEFFECTIVE AND THERE IS A THREAT TO PUBLIC SAFETY. IF IT IS NECESSARY TO WASH THE STREETS, THE CONSTRUCTION OF A SMALL SUMP SHALL BE CONSIDERED. THE SEDIMENT WOULD THEN BE WASHED INTO

OR POND. PROVIDE TIRE WASH FOR ALL WINTER GRADING.

- 4. ANY ROCK SPALLS THAT ARE LOOSENED FROM THE PAD AND END UP ON THE ROADWAY SHALL BE REMOVED
- 5. IF VEHICLES ARE ENTERING OR EXITING THE SITE AT POINTS OTHER THAN THE CONSTRUCTION ENTRANCE(S), FENCING (SECTION 5.4.1) SHALL BE INSTALLED TO CONTROL TRAFFIC.

R=25' MIN-4"-6" QUARRY SPALLS PLACE AT FUTURE SUBGRADE ELEVATION IF POSSIBLE. MIRAFI 5T GEOTEXTILE PROVIDE FULL WIDTH-FABRIC (OR EQUIV.) LAID OF INGRESS/EGRESS UNDER QUARRY SPALLS AREA

1. INSTALLATION: THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS IN THE PLAN. IF WASH RACKS ARE USED, THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

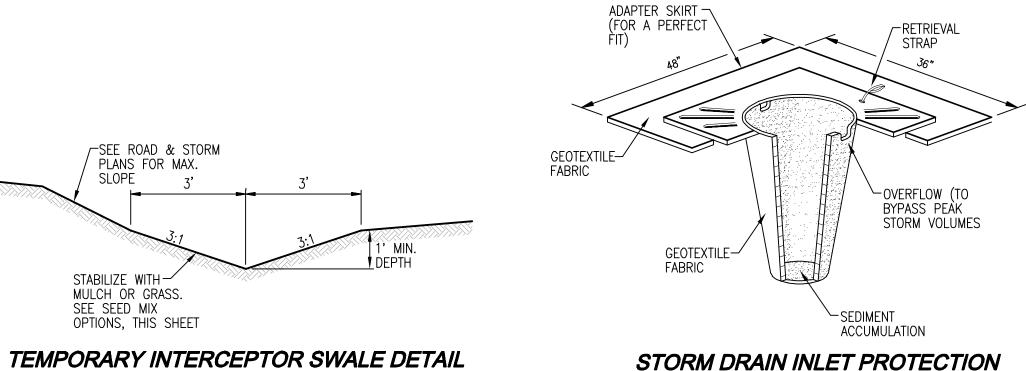
- 2. AGGREGATE: 4" TO 6" CRUSHED BALLAST ROCK.
- LENGTH OF THE ENTRANCE MUST BE AT LEAST 100 FEET. 4. WASHING: IF CONDITIONS ON THE SITE ARE SUCH THAT MOST OF THE MUD IS NOT REMOVED FROM VEHICLE TIRES BY CONTACT WITH HE GRAVEL, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM THE ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND

3. ENTRANCE DIMENSIONS: THE AGGREGATE LAYER MUST BE AT

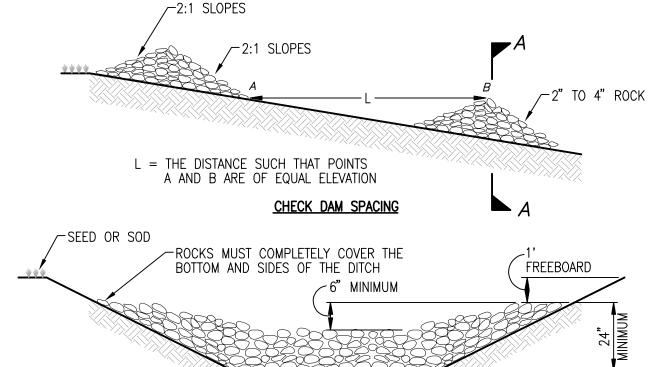
LEAST 6 INCHES THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE

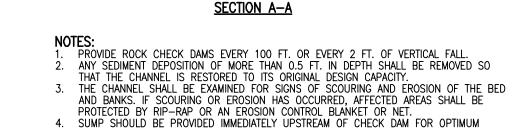
5. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2-INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAY OR INTO STORM DRAINS MUST BE REMOVED

ROCK CONSTRUCTION ENTRANCE

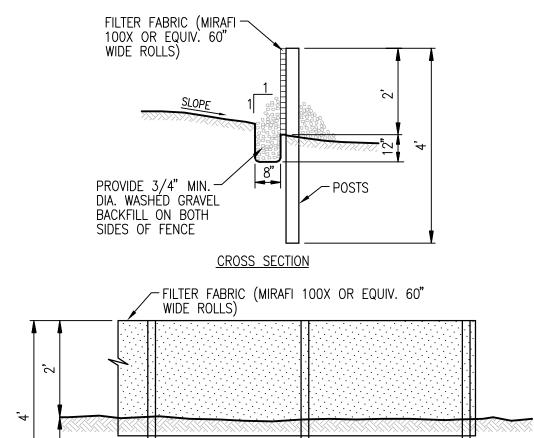


TEMPORARY INTERCEPTOR SWALE DETAIL





ROCK CHECK DAM



-BURY BOTTOM OF

MATERIAL IN 8"x12" ∐

FILTER FABRIC

TRENCH

2"x4" DOUGLAS FIR @ 6' O.C. NO. 1 GRADE OR EQUAL. ALTERNATE: STEEL FENCE POSTS SILT FENCE DETAIL

DRAWING NAME: C21145P-ER-

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DESIGNER: DRAFTING BY: 9-21-3 JRISDICTION: CITY OF BELLE

JOB NUMBER:

ER-02 SHEET 5 OF 11

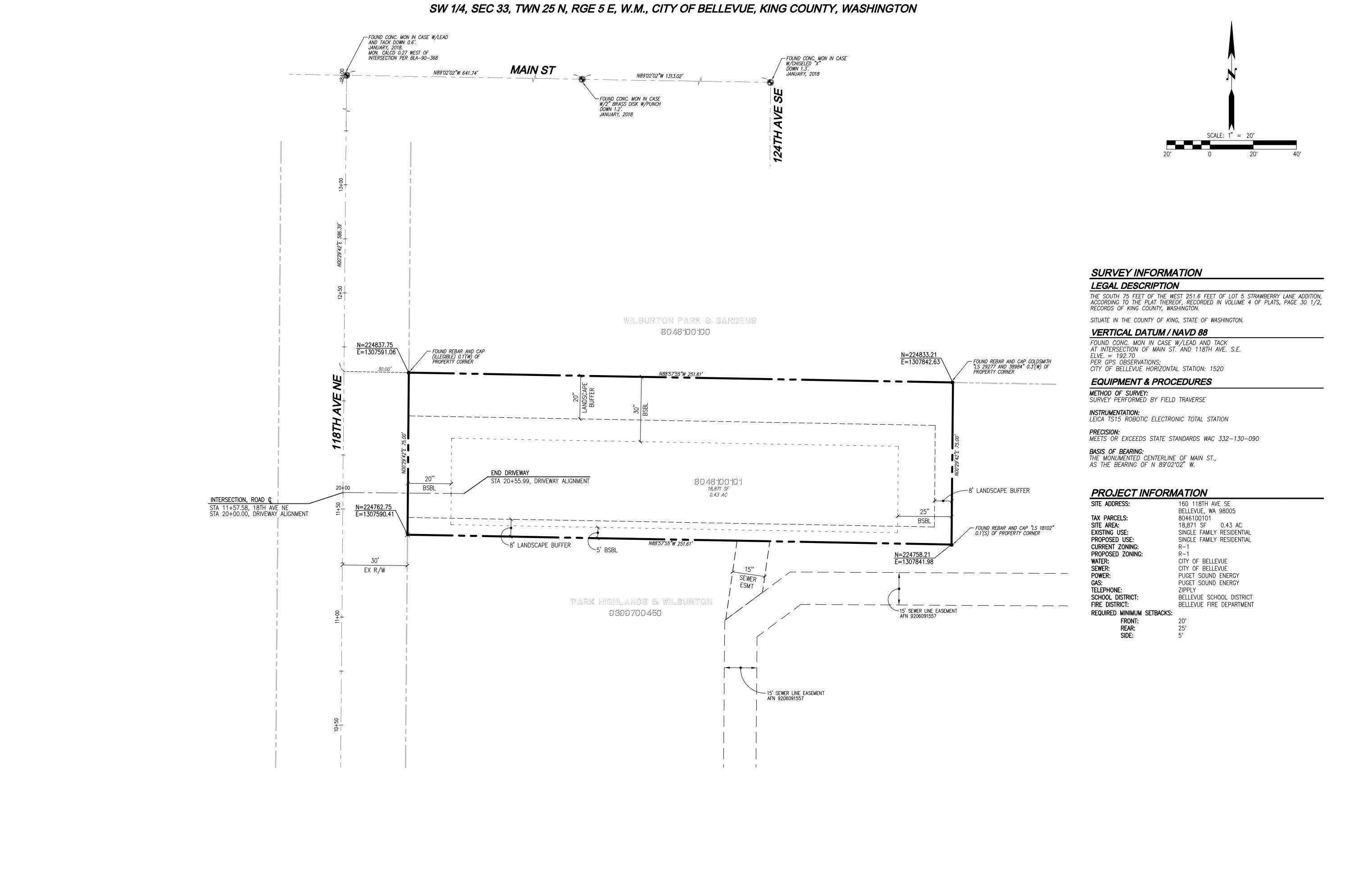
UTILITY NOTE

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

DISCLAIMER

TOPOGRAPHIC SURVEY INFORMATION CONTAINED ON THESE PLANS HAS BEEN PROVIDED BY PACIFIC COAST SURVEYS. LDC, INC. (LAND DEVELOPMENT CONSULTANTS, INC.) ASSUMES NO LIABILITY AS TO THE ACCURACY AND COMPLETENESS OF THIS DATA. ANY DISCREPANCIES FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT IS NOTED IN THE FIELD SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.

Call 2 Business Days Before You Dig 811 or 1-800-424-5555 Utilities Underground Location Center



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DISCLAIMER

ENGINEER.

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UTILITY NOTE

THE START OF CONSTRUCTION.

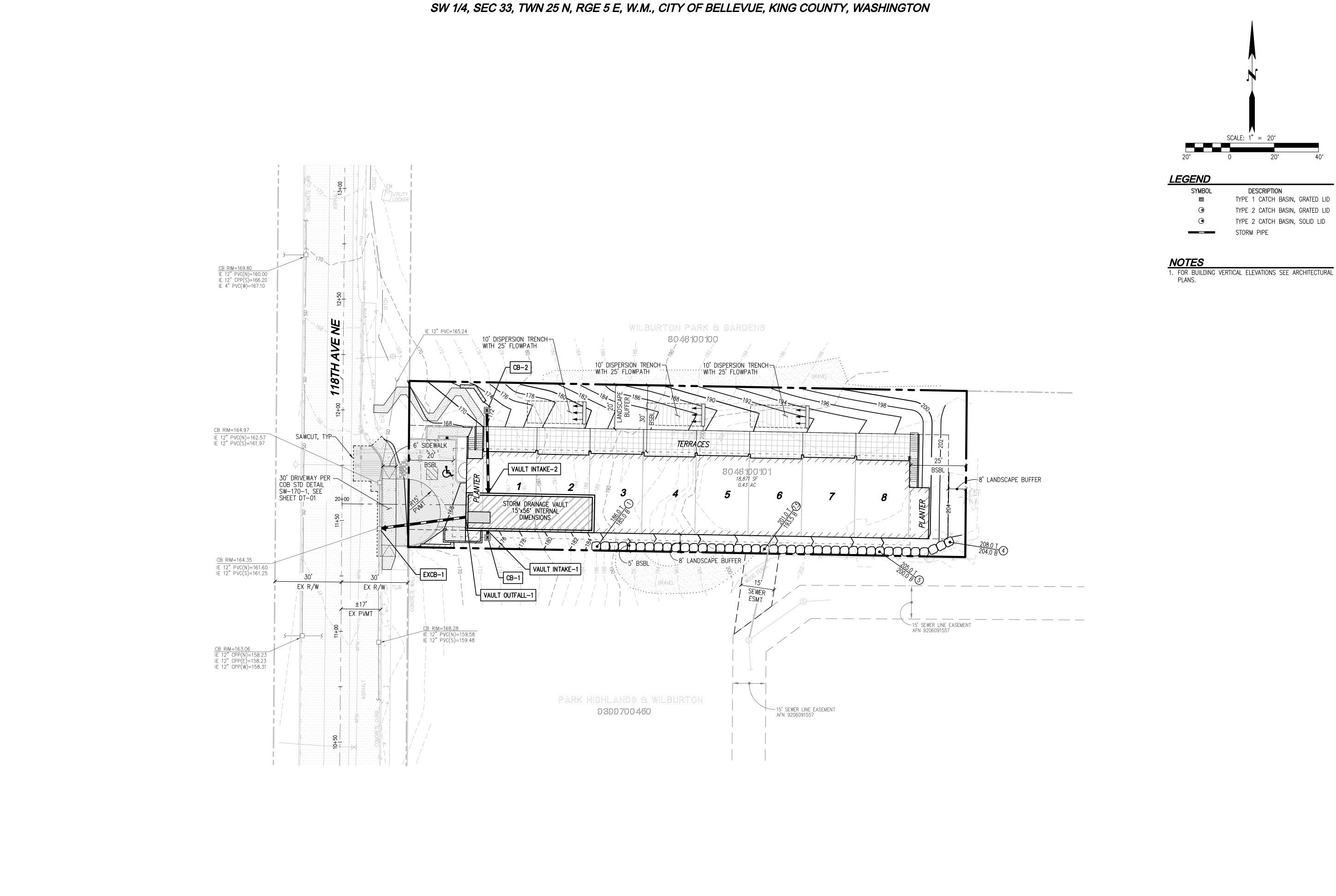
JURISDICTION: CITY OF BELLEVI SHEET 6 OF 11

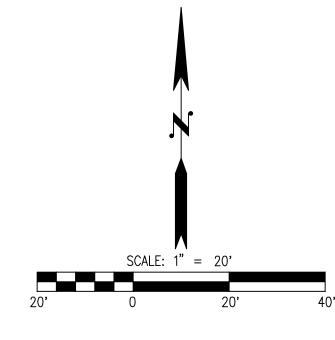
DRAWING NAME: C21145P-HC-

JOB NUMBER:

DESIGNER: DRAFTING BY:

YDENBAUER





DESCRIPTION TYPE 1 CATCH BASIN, GRATED LID TYPE 2 CATCH BASIN, GRATED LID TYPE 2 CATCH BASIN, SOLID LID

UTILITY NOTE

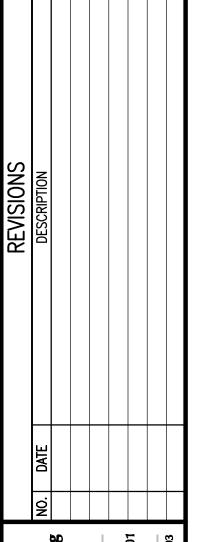
DISCLAIMER

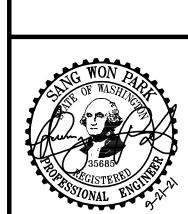
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JOB NUMBER: DRAWING NAME: C21145P-RD-DESIGNER: DRAFTING BY: JURISDICTION: CITY OF BELLEVI

SW 1/4, SEC 33, TWN 25 N, RGE 5 E, W.M., CITY OF BELLEVUE, KING COUNTY, WASHINGTON EXISTING GRADE AT DRIVEWAY & FINISHED GRADE AT DRIVEWAY € 0.00% └─EX 12" WM —TEMPORARY RISER STORM DETENTION VAULT 118TH AVE NE HOR: 1"=20' VER: 1"=5' DRIVEWAY ALIGNMENT HOR: 1"=20' VER: 1"=5' 22+50 11+50 20+00 20+50 21+00 21+50 *22+00*

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.

AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

BEEN PROVIDED BY PACIFIC COAST SURVEYS. LDC, INC. (LAND DEVELOPMENT CONSULTANTS, INC.) ASSUMES NO LIABILITY AS TO THE ACCURACY AND COMPLETENESS OF THIS DATA. ANY DISCREPANCIES FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT IS NOTED IN THE FIELD SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.





DRAWING NAME: C21145P-RD-F DESIGNER: DRAFTING BY: SCALE: 1"=20
JURISDICTION: CITY OF BELLEVU

GENERAL NOTES

- 1. ALL WORK SHALL CONFORM TO THE 2021 EDITION OF THE CITY OF BELLEVUE UTILITIES DEPARTMENT ENGINEERING STANDARDS.
- 2. THE CONTRACTOR SHALL USE A VACUUM STREET SWEEPER TO REMOVE DUST AND DEBRIS FROM PAVEMENT AREAS.
- 3. WHEN WORK IS TO OCCUR IN EASEMENTS, THE CONTRACTOR SHALL NOTIFY THE EASEMENT GRANTOR AND
 4. CITY'S INSPECTOR IN WRITING A MINIMUM OF 48 HOURS IN ADVANCE OF BEGINNING WORK (NOT INCLUDING WEEKENDS OR HOLIDAYS). FAILURE TO NOTIFY GRANTOR AND THE CITY'S INSPECTOR WILL RESULT IN A STOP WORK ORDER BEING POSTED UNTIL THE MATTER IS RESOLVED TO THE SATISFACTION OF THE UTILITY. A WRITTEN RELEASE FROM THE EASEMENT GRANTOR SHALL BE FURNISHED TO THE CITY'S INSPECTOR PRIOR TO
- PERMIT SIGN-OFF.

 5. INSTALL FLOW DIVERSION MEASURES OUTSIDE OF THE CRITICAL ROOT ZONE OF TREES TO BE PROTECTED.
 AT NO TIME SHALL CONSTRUCTION STORMWATER BE DIRECTED TOWARDS TREES TO BE PROTECTED.
 CONSTRUCTION STORMWATER SHALL NOT POND WITHIN A TREE'S CRITICAL ROOT ZONE.
- 6. ALL TRENCHES SHALL BE BACKFILLED. COMPACTED, AND PAVEMENT IN PLACE IN PAVED AREAS, PRIOR TO TESTING STORM PIPES FOR ACCEPTANCE.

STORM DRAINAGE NOTES

- 1. STORM PIPE SHALL BE PVC CONFORMING TO ASTM D-3034 SDR 35 (4"-15") OR ASTM F-679 (18"-27").

 BEDDING AND BACKFILL SHALL BE AS SHOWN IN THE STANDARD DETAILS.

 2. THE FOOTING DRAINAGE SYSTEM AND THE ROOF DOWNSPOUT SYSTEM SHALL NOT BE INTERCONNECTED AND
- SHALL SEPARATELY CONVEY COLLECTED FLOWS TO THE CONVEYANCE SYSTEM OR TO ON—SITE STORMWATER FACILITIES.

 3. PRIOR TO FINAL INSPECTION AND ACCEPTANCE OF STORM DRAINAGE WORK, PIPES AND STORM DRAIN
- STRUCTURES SHALL BE CLEANED AND FLUSHED. ANY OBSTRUCTIONS TO FLOW WITHIN THE STORM DRAIN SYSTEM, (SUCH AS RUBBLE, MORTAR AND WEDGED DEBRIS), SHALL BE REMOVED AT THE NEAREST STRUCTURE. WASH WATER OF ANY SORT SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM OR SURFACE WATERS.
- 4. ENDS OF EACH STORM DRAIN STUB AT THE PROPERTY LINE SHALL BE CAPPED AND LOCATED WITH AN 8' LONG 2" X 4" BOARD, EMBEDDED TO THE STUB CAP AND EXTENDING AT LEAST 3 FEET ABOVE GRADE, AND MARKED PERMANENTLY "STORM". A COPPER 12 GA. LOCATE WIRE FIRMLY ATTACHED. THE STUB DEPTH SHALL BE INDICATED ON THE MARKER.
- 5. ALL GRATES IN ROADWAYS SHALL BE DUCTILE IRON, BOLT-LOCKING, VANED GRATES PER THE STANDARD DETAILS. STRUCTURES IN TRAFFIC LANES OUTSIDE OF THE CURB LINE WHICH DO NOT COLLECT RUNOFF SHALL BE FITTED WITH ROUND, BOLT-LOCKING FRAMES AND SOLID COVERS. OFF-STREET STRUCTURES WHICH DO NOT COLLECT RUNOFF SHALL BE FITTED WITH BOLT-LOCKING SOLID COVERS.
- 6. VEGETATION/LANDSCAPING IN THE DETENTION POND, BIORETENTION FACILITY, VEGETATED ROOF AND/OR DRAINAGE SWALE(S) ARE AN INTEGRAL PART OF THE RUNOFF TREATMENT SYSTEM FOR THE PROJECT. SUCH DRAINAGE FACILITIES WILL NOT BE ACCEPTED UNTIL PLANTINGS ARE ESTABLISHED.
- 7. ALL NEW MANHOLES SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES AND SHALL CONFORM TO THE STANDARD DETAILS. ALL NEW CATCH BASINS SHALL CONFORM TO THE STANDARD DETAILS.
- 8. STORM STUB STATIONS ARE REFERENCED FROM NEAREST DOWNSTREAM MANHOLE/ CATCH BASIN.
 9. ALL TESTING AND CONNECTIONS TO EXISTING MAINS SHALL BE DONE IN THE PRESENCE OF THE CITY'S
- INSPECTOR.

 10. ALL PUBLIC STORM DRAINS SHALL BE AIR TESTED AND HAVE A VIDEO INSPECTION PERFORMED PRIOR TO ACCEPTANCE (SEE #17 BELOW). STORM MAIN CONSTRUCTED WITH A MANDREL PRIOR TO ACCEPTANCE
- TESTED WITH À MANDREL PRIOR TO ACCEPTANCE.

 11. STORM STUBS SHALL BE TESTED FOR ACCEPTANCE AT THE SAME TIME THE STORM MAIN IS TESTED.

 12. ALL MANHOLES/ CATCH BASINS IN UNPAVED AREAS SHALL INCLUDE A CONCRETE SEAL AROUND ADJUSTMENT
- RINGS PER STANDARD DETAILS.

 13. ALL STORM MAIN EXTENSIONS WITHIN THE PUBLIC RIGHT—OF—WAY OR IN EASEMENTS MUST BE "STAKED" BY A SURVEYOR LICENSED IN WASHINGTON STATE FOR "LINE AND GRADE" AND CUT SHEETS PROVIDED TO THE
- CITY'S INSPECTOR, PRIOR TO STARTING CONSTRUCTION.

 14. STORM DRAINAGE MAINLINES, STUBS AND FITTINGS SHALL BE CONSTRUCTED USING THE SAME PIPE MATERIAL AND MANUFACTURER. CONNECTIONS BETWEEN STUBS AND THE MAINLINE WILL BE MADE WITH A TEE FITTING. TEE FITTING SHALL BE FROM SAME MANUFACTURER AS PIPE. CUT—IN CONNECTIONS ARE ONLY ALLOWED
- WHEN CONNECTING A NEW STUB TO AN EXISTING MAINLINE.

 15. MANHOLES, CATCH BASINS AND VAULTS ARE CONSIDERED TO BE PERMIT—REQUIRED CONFINED SPACES.

 ENTRY INTO THESE SPACES SHALL BE IN ACCORDANCE WITH CHARTER 200, 200, WAS
- ENTRY INTO THESE SPACES SHALL BE IN ACCORDANCE WITH CHAPTER 296—809 WAC.

 16. PLACEMENT OF SURFACE APPURTENANCES (MH LIDS, VALVE LIDS, ETC.) IN TIRE TRACKS OF TRAFFIC LANES SHALL BE AVOIDED WHENEVER POSSIBLE.
- 17. THE CONTRACTOR SHALL PERFORM A VIDEO INSPECTION AND PROVIDE A DIGITAL COPY OF THE VIDEO INSPECTION FOR THE CITY'S REVIEW. THE VIDEO SHALL PROVIDE A MINIMUM OF 480 X 640 RESOLUTION AND COVER THE ENTIRE LENGTH OF THE APPLICABLE PIPE. THE CAMERA SHALL BE MOVED THROUGH THE PIPE AT A UNIFORM RATE (≤ 30 FT/MIN), STOPPING WHEN NECESSARY TO ENSURE PROPER DOCUMENTATION OF THE PIPE CONDITION. THE VIDEO SHALL BE TAKEN AFTER INSTALLATION AND CLEANING TO INSURE THAT NO DEFECTS EXIST. THE PROJECT WILL NOT BE ACCEPTED UNTIL ALL DEFECTS HAVE BEEN REPAIRED.
- 18.NOT USED.
 19.ALL CONCRETE STRUCTURES (VAULTS, CATCH BASINS, MANHOLES, OIL/WATER SEPARATORS, ETC.) SHALL BE VACUUM TESTED.
- 20.MANHOLES, CATCH BASINS AND INLETS IN EASEMENTS SHALL BE CONSTRUCTED TO PROVIDE A STABLE,
 LEVEL GRADE FOR A MINIMUM RADIUS OF 2.5 FEET AROUND THE CENTER OF THE ACCESS OPENING TO
- ACCOMMODATE CONFINED SPACE ENTRY EQUIPMENT.
 21.TOPS OF MANHOLES/ CATCH BASINS WITHIN PUBLIC RIGHT-OF-WAY SHALL NOT BE ADJUSTED TO FINAL
- GRADE UNTIL AFTER PAVING.

 22.CONTRACTOR SHALL ADJUST ALL MANHOLE/ CATCH BASIN RIMS TO BE FLUSH WITH FINAL FINISHED GRADES, UNLESS OTHERWISE SHOWN.
- 23. DURING CONSTRUCTION, CONTRACTOR SHALL INSTALL, AT ALL CONNECTIONS TO EXISTING DOWNSTREAM MANHOLES/CATCH BASINS, SCREENS OR PLUGS TO PREVENT FOREIGN MATERIALS FROM ENTERING EXISTING STORM DRAINAGE SYSTEM. SCREENS OR PLUGS SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF THE CONSTRUCTION AND SHALL BE REMOVED ALONG WITH COLLECTED DEBRIS AT THE TIME OF FINAL INSPECTION AND IN THE PRESENCE OF THE CITY'S INSPECTOR.
- 24.NOT USED.
 25.MINIMUM COVER OVER STORM DRAINAGE PIPE SHALL BE 2 FEET, UNLESS OTHERWISE SHOWN.
 26.REDIRECT SHEET FLOW, BLOCK DRAIN INLETS AND/OR CURB OPENINGS IN PAVEMENT AND INSTALL FLOW DIVERSION MEASURES TO PREVENT CONSTRUCTION SILT LADEN RUNOFF AND DEBRIS FROM ENTERING EXCAVATIONS AND FINISH SURFACES FOR BIORETENTION FACILITIES AND PERMEABLE PAVEMENTS.
 27.WHERE AMENDED SOILS, BIORETENTION FACILITIES, AND PERMEABLE PAVEMENTS ARE INSTALLED, THESE

AREAS SHALL BE PROTECTED AT ALL TIMES FROM BEING OVER-COMPACTED.

UTILITY GENERAL NOTES

- 1. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE EXCAVATOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN, AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HERE ON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN. IMMEDIATELY
- NOTIFY THE RESPONSIBLE PROFESSIONAL ENGINEER IF A CONFLICT EXISTS.

 2. CALL 1-800-424-5555, OR 8-1-1, 72 HOURS BEFORE CONSTRUCTION FOR UTILITY LOCATES.
- 3. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF FIVE FEET (5') HORIZONTAL SEPARATION BETWEEN ALL WATER AND STORM DRAINAGE LINES. ANY CONFLICT SHALL BE REPORTED TO THE UTILITY AND THE RESPONSIBLE PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION.
- 4. AVOID CROSSING WATER OR SEWER MAINS AT HIGHLY ACUTE ANGLES. THE SMALLEST ANGLE MEASURE BETWEEN UTILITIES SHOULD BE 45 DEGREES.
- 5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT NO CONFLICTS EXIST BETWEEN STORM DRAINAGE FACILITIES AND PROPOSED OR EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- 6. AT POINTS WHERE EXISTING THRUST BLOCKING IS FOUND, MINIMUM CLEARANCE BETWEEN CONCRETE
- BLOCKING AND OTHER BURIED UTILITIES OR STRUCTURES SHALL BE 5 FEET.

 . WHERE A NEW UTILITY LINE CROSSES BELOW AN EXISTING AC MAIN, THE AC PIPE SHALL BE REPLACED WITH DI PIPE TO 3 FEET PAST EACH SIDE OF THE TRENCH AS SHOWN ON STANDARD DETAIL

TESC GENERAL NOTES

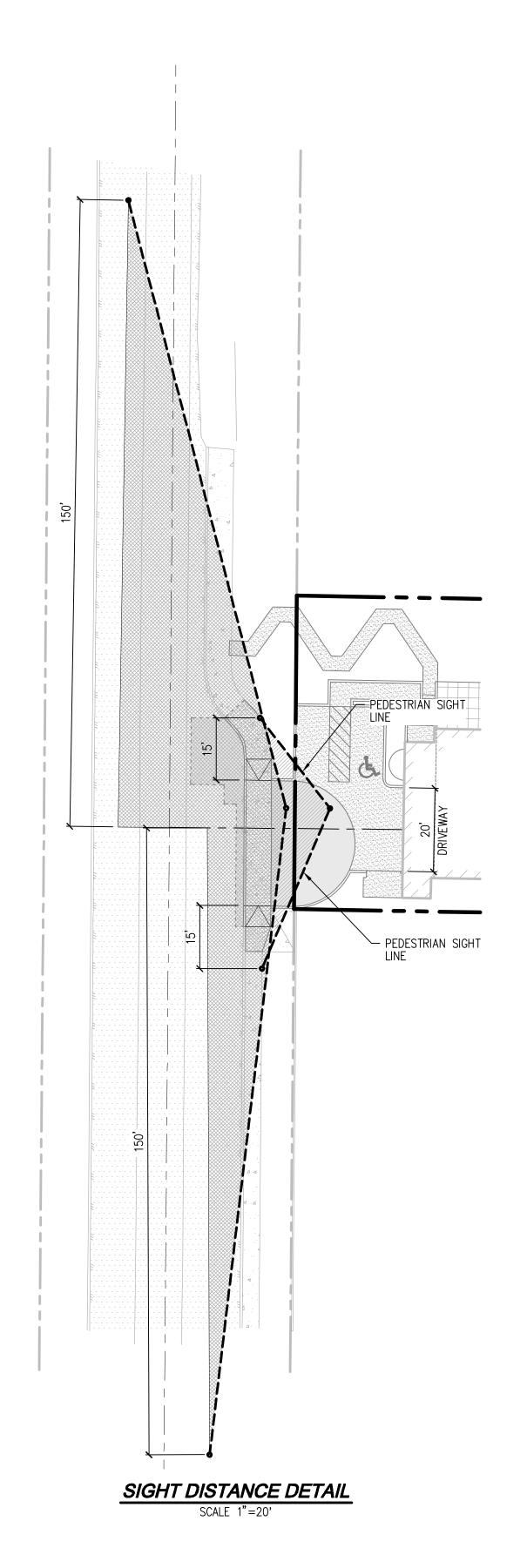
. PROVIDE AND MAINTAIN TEMPORARY SEDIMENTATION COLLECTION FACILITIES TO ENSURE THAT SEDIMENT OR OTHER HAZARDOUS MATERIALS DO NOT ENTER THE STORM DRAINAGE SYSTEM IN ACCORDANCE WITH THE SITES APPROVED CSWPPP.

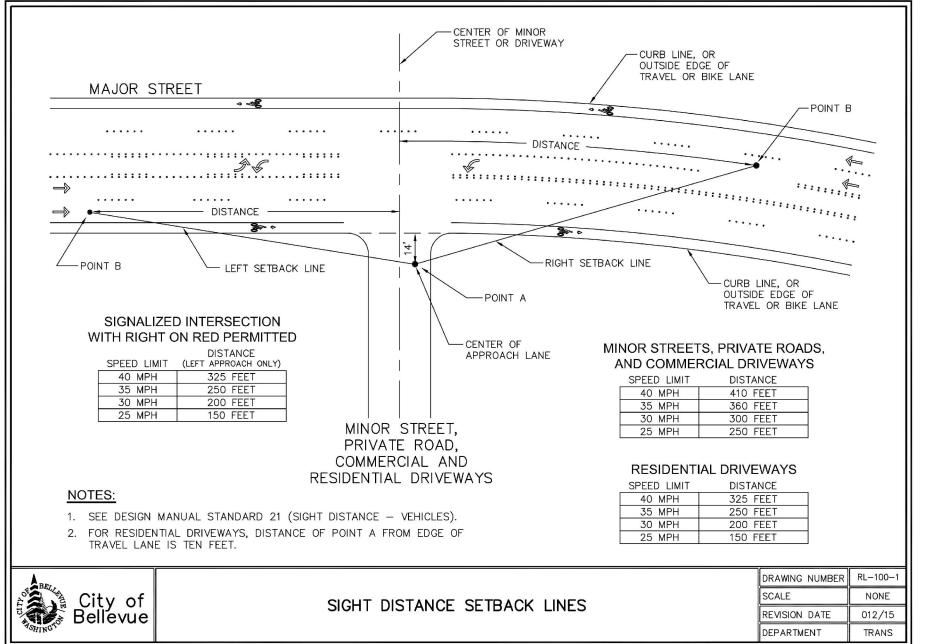
RESTORATION NOTES

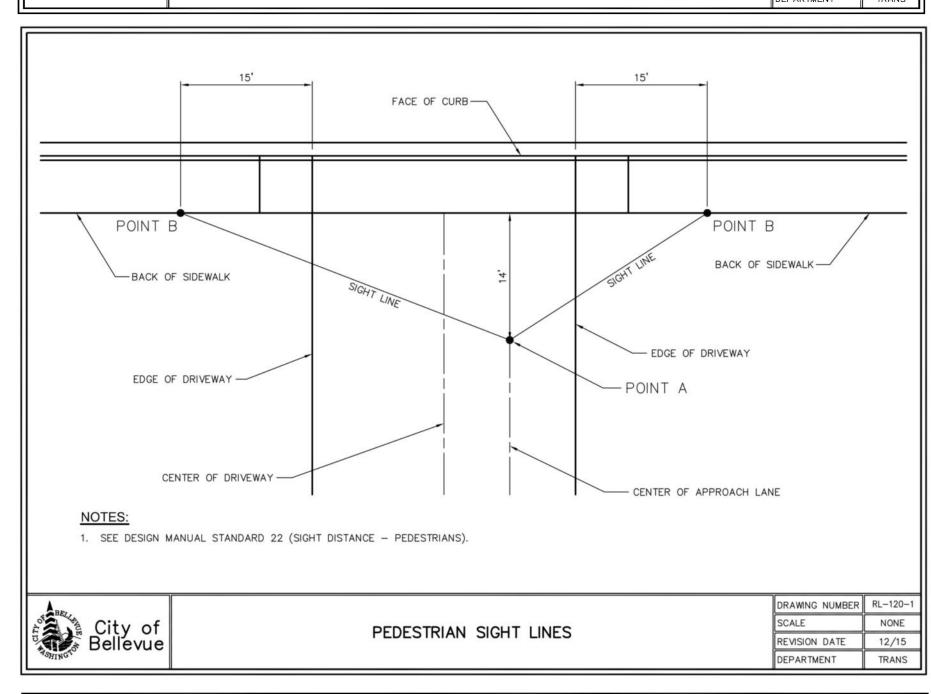
- 1. SURFACE RESTORATION OF EXISTING ASPHALT PAVEMENT SHALL BE AS REQUIRED BY THE RIGHT-OF-WAY
- USE PERMIT.

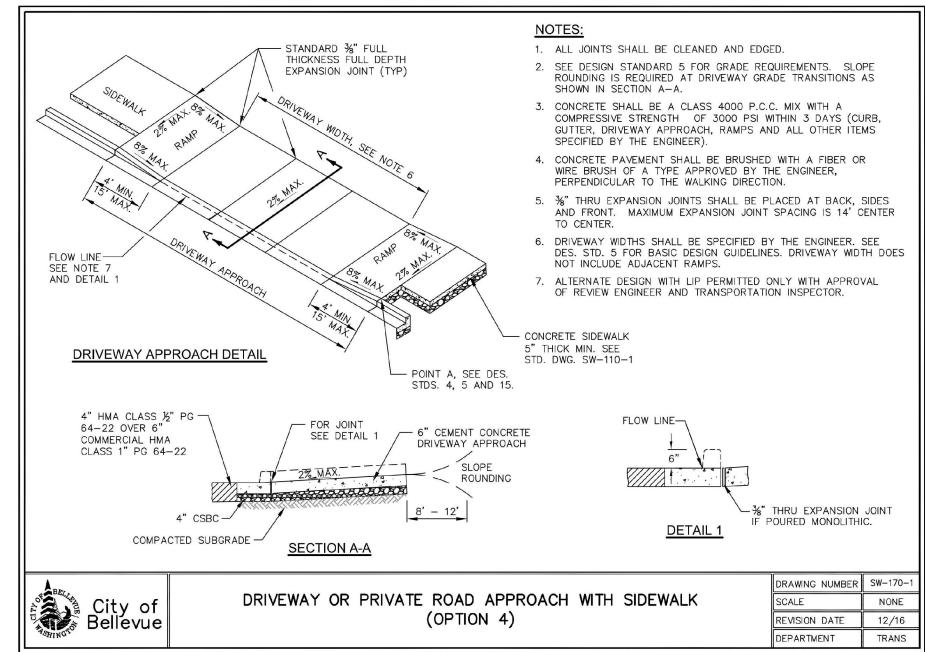
 2. THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY AND EXISTING PUBLIC STORM DRAINAGE EASEMENT(S) AFTER CONSTRUCTION TO A CONDITION EQUAL OR BETTER THAN CONDITION PRIOR TO ENTRY. THE CONTRACTOR SHALL FURNISH A SIGNED RELEASE FROM ALL AFFECTED PROPERTY OWNERS AFTER RESTORATION HAS BEEN COMPLETED.

SW 1/4, SEC 33, TWN 25 N, RGE 5 E, W.M., CITY OF BELLEVUE, KING COUNTY, WASHINGTON









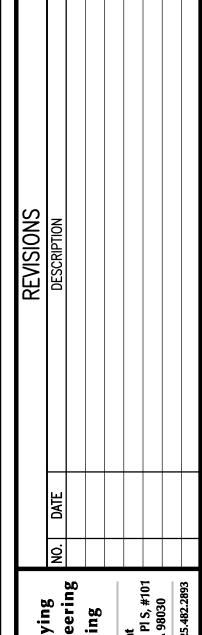
UTILITY NOTE

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.
AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

DISCLAIMER

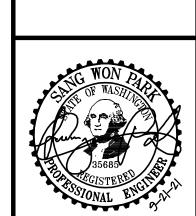
TOPOGRAPHIC SURVEY INFORMATION CONTAINED ON THESE PLANS HAS BEEN PROVIDED BY PACIFIC COAST SURVEYS. LDC, INC. (LAND DEVELOPMENT CONSULTANTS, INC.) ASSUMES NO LIABILITY AS TO THE ACCURACY AND COMPLETENESS OF THIS DATA. ANY DISCREPANCIES FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT IS NOTED IN THE FIELD SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE





Woodinville Kent
20210 142nd Avenue NE 1851 Central Pl S, 3
Woodinville, WA 98072 Kent, WA 9803

N TOWNHOMES
NOTES AND DETAILS



JOB NUMBER: C21-14

DRAWING NAME: C21145P-RD
DESIGNER:

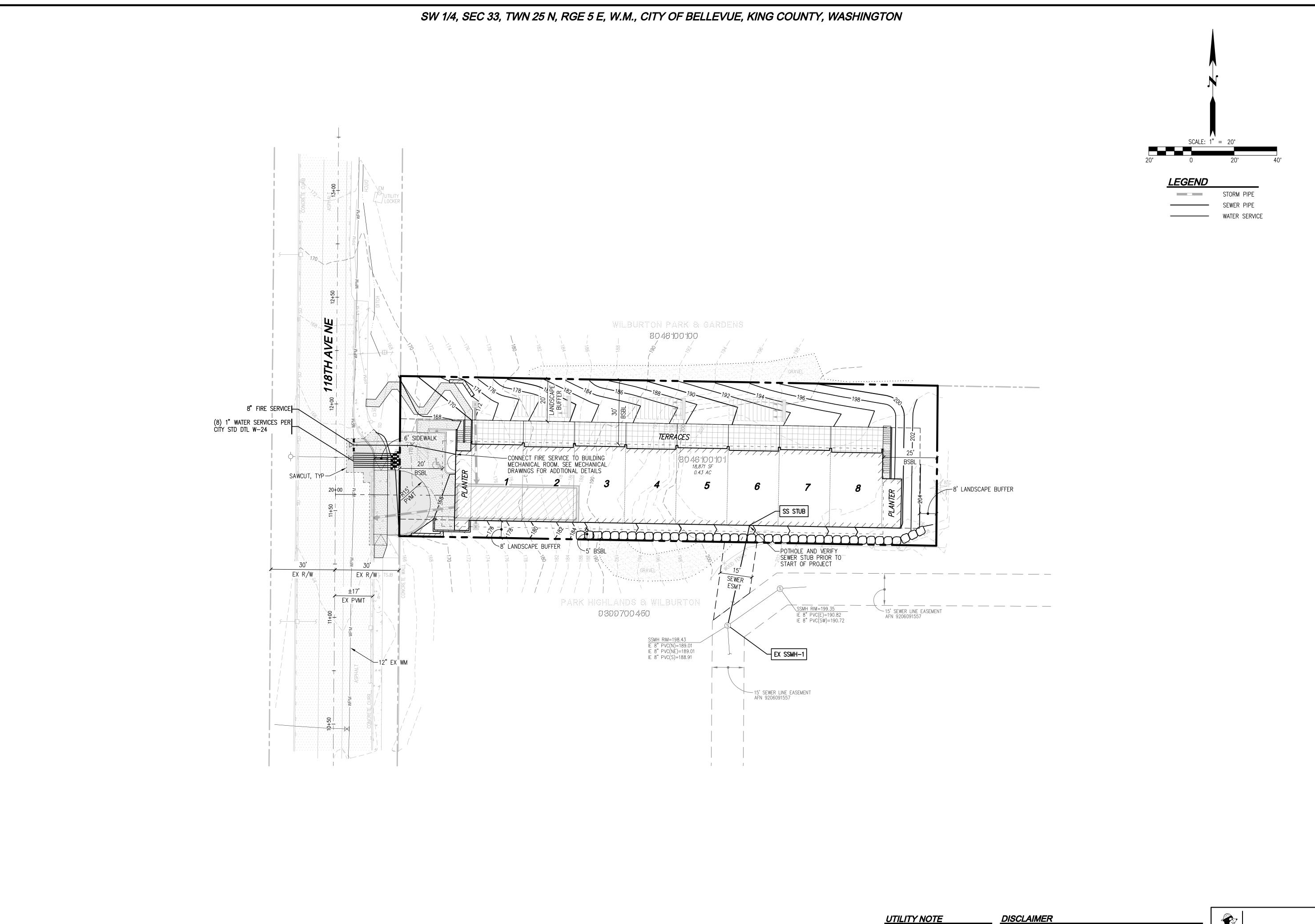
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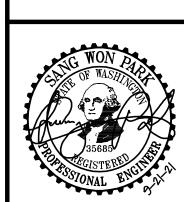
DATE: 9-21-2

SCALE: AS NOTE

JURISDICTION: CITY OF BELLEVE

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SHEET 10 OF 11

Call 2 Business Days Before You Dig 811 or 1-800-424-5555

Utilities Underground Location Center

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.

AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

THE START OF CONSTRUCTION.

DISCLATIVENX

TOPOGRAPHIC SURVEY INFORMATION CONTAINED ON THESE PLANS HAS BEEN PROVIDED BY PACIFIC COAST SURVEYS. LDC, INC. (LAND DEVELOPMENT CONSULTANTS, INC.) ASSUMES NO LIABILITY AS TO THE ACCURACY AND COMPLETENESS OF THIS DATA. ANY DISCREPANCIES FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT IS NOTED IN THE FIELD SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER.

SANITARY SEWER GENERAL NOTES

- 1. ALL WORK SHALL CONFORM TO THE 2021 CITY OF BELLEVUE UTILITY ENGINEERING STANDARDS AND THE
- DEVELOPER EXTENSION AGREEMENT. 2. ALL NEW MANHOLES SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48" AND SHALL CONFORM TO THE STANDARD DETAILS.
- 3. SANITARY SEWER PIPE SHALL BE PVC CONFORMING TO ASTM D-3034 SDR 35 (4"-15") OR ASTM F-679
- (18"-27"). BEDDING AND BACKFILL SHALL BE AS SHOWN IN THE STANDARD DETAILS. 4. WHERE SHOWN AS C900 PVC, THE SEWER PIPE SHALL HAVE DIMENSION RATIO (DR 18) AND CONFORM TO AWWA C900 OR AWWA C905.
- 5. ALL SIDE SEWERS SHALL BE 6"DIAMETER PIPE AT A MINIMUM 2% SLOPE, UNLESS OTHERWISE NOTED ON THE STANDARD DETAILS.
- 6. SIDE SEWER STATIONS ARE REFERENCED FROM NEAREST DOWNSTREAM MANHOLE.
- 7. LOT CORNERS MUST BE SET AND SIDE SEWER LOCATIONS VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. 8. ALL SIDE SEWER STUBS SHALL BE CAPPED WITH A WATERTIGHT CAP AND GASKET. CAP LOCATION SHALL BE MARKED WITH A 2 X 4 STAKE, 12 FEET LONG, WITH ONE END BURIED AT DEPTH OF THE CAP INVERT AND EXTENDING AT LEAST 3 FEET VERTICALLY OUT OF THE GROUND. THE PORTION OF STAKE ABOVE GROUND SHALL BE PAINTED WHITE AND MARKED WITH THE WORD "SEWER" AND THE DEPTH FROM PIPE INVERT TO GROUND SURFACE. CONNECT PIPE TO STAKE WITH AN 8-GAUGE WIRE AT OR ABOVE FINISHED GROUND
- 9. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN, AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREIN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
- IMMEDIATELY NOTIFY THE ENGINEER IF A CONFLICT EXISTS. 10. ALL TESTING AND CONNECTIONS TO EXISTING MAINS SHALL BE DONE IN THE PRESENCE OF A
- REPRESENTATIVE OF THE CITY OF BELLEVUE UTILITIES DEPARTMENT. 11.ALL TRENCHES SHALL BE COMPACTED, AND HMA IN PLACE IN PAVED AREAS, PRIOR TO TESTING SEWER LINES FOR ACCEPTANCE.
- 12. SIDE SEWER STUBS SHALL BE TESTED FOR ACCEPTANCE AT THE SAME TIME THE MAIN SEWER IS TESTED. 13. TOPS OF MANHOLES WITHIN PUBLIC RIGHTS-OF-WAY SHALL NOT BE ADJUSTED TO FINAL GRADE UNTIL JUST
- PRIOR TO PAVING.
- 14. ALL MANHOLES IN UNPAVED AREAS SHALL INCLUDE A CONCRETE SEAL AROUND ADJUSTING RINGS PER STANDARD DETAIL
- 15. CONTRACTOR SHALL ADJUST ALL MANHOLE RIMS TO FLUSH WITH FINAL FINISHED GRADES, UNLESS OTHERWISE SHOWN.
- 16. ALL SEWER MAIN EXTENSIONS WITHIN THE PUBLIC RIGHT-OF-WAY OR IN EASEMENTS MUST BE "STAKED" BY A SURVEYOR LICENSED IN WASHINGTON STATE FOR "LINE AND GRADE" AND CUT SHEETS PROVIDED TO THE ENGINEER, PRIOR TO STARTING CONSTRUCTION
- 17. CONTRACTOR SHALL INSTALL, AT ALL CONNECTIONS TO EXISTING DOWNSTREAM MANHOLES, SCREENS OR PLUGS TO PREVENT FOREIGN MATERIALS FROM ENTERING EXISTING SANITARY SEWER SYSTEM. SCREENS OR PLUGS SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION AND SHALL BE REMOVED ALONG WITH COLLECTED DEBRIS AT THE TIME OF FINAL INSPECTION AND IN THE PRESENCE OF A REPRESENTATIVE OF THE CITY OF BELLEVUE UTILITIES DEPARTMENT.
- 18. SURFACE RESTORATION OF EXISTING ASPHALT PAVEMENT SHALL BE AS REQUIRED BY THE RIGHT-OF-WAY
- 19. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF TEN FEET (10') HORIZONTAL SEPARATION BETWEEN ALL WATER AND SEWER LINES. ANY CONFLICTS SHALL BE REPORTED TO THE UTILITY AND THE ENGINEER PRIOR TO CONSTRUCTION.
- 20.THE CONTRACTOR SHALL ENSURE AND VERIFY THAT NO CONFLICTS EXIST BETWEEN SANITARY SEWER LINES
- AND PROPOSED OR EXISTING UTILITIES PRIOR TO CONSTRUCTION. 21.MINIMUM COVER OVER SEWER PIPE SHALL BE FIVE FEET, UNLESS OTHERWISE SHOWN.
- 22.THE CONTRACTOR SHALL USE A VACUUM STREET SWEEPER TO REMOVE DUST AND DEBRIS FROM PAVEMENT AREAS AS DIRECTED BY THE ENGINEER.
- 23.NOT USED. 24.SIDE SEWER DEMOLITION SHALL BE PERFORMED PRIOR TO REMOVAL OF BUILDING FOUNDATION. THE SIDE SEWER FOR EACH BUILDING SHALL BE ABANDONED FROM THE BUILDING CONNECTION TO THE EDGE OF THE PUBLIC RIGHT-OF-WAY, OR PROPERTY LINE. THE CONTRACTOR SHALL CAP THE END OF THE SIDE SEWER STUB TO REMAIN IN PLACE. SIDE SEWER DEMOLITION SHALL BE PERFORMED IN THE PRESENCE OF THE CITY
- OF BELLEVUE SEWER MAINTENANCE ENGINEERING TECHNICIAN. 25.AVOID CROSSING WATER OR SEWER MAINS AT HIGHLY ACUTE ANGLES. THE SMALLEST ANGLE MEASURE
- BETWEEN UTILITIES SHOULD BE 45 TO 90 DEGREES. 26.AT POINTS WHERE EXISTING THRUST BLOCKING IS FOUND, MINIMUM CLEARANCE BETWEEN THE CONCRETE BLOCKING AND OTHER BURIED UTILITIES OR STRUCTURES SHALL BE 5 FEET.
- 27. WHERE NEW UTILITY LINE CROSSES BELOW AN EXISTING AC MAIN, THE AC PIPE SHALL BE REPLACED WITH DI PIPE TO 3 FEET PAST EACH SIDE OF THE TRENCH AS SHOWN ON STANDARD DETAIL W-8. ALTERNATIVELY, WHERE DIRECTED BY THE ENGINEER, THE TRENCH MAY BE BACKFILLED WITH CONTROLLED DENSITY FILL (CDF, AKA FLOWABLE FILL) FROM BOTTOM OF TRENCH TO BOTTOM OF THE AC MAIN.
- 28.CALL 1-800-424-5555, OR 811, 72 HOURS BEFORE CONSTRUCTION FOR UTILITY LOCATES. 29.MANHOLES, CATCH BASINS AND VAULTS ARE CONSIDERED TO BE PERMIT-REQUIRED CONFINED SPACES.
- ENTRY INTO THESE SPACES SHALL BE IN ACCORDANCE WITH CHAPTER 296-809 WAC. 30. THE CONTRACTOR SHALL PROVIDE COLOR CCTV EQUIPMENT SHALL INCLUDE TELEVISION CAMERAS, A TELEVISION MONITOR, CABLES, POWER SOURCES, SIDE-LAUNCH CAPABLE IF NECESSARY, AND OTHER EQUIPMENT. FOCAL DISTANCE SHALL BE ADJUSTABLE THROUGH A RANGE FROM 6 INCHES TO INFINITY. THE CCTV EQUIPMENT SHALL INCLUDE A DISTANCE MEASURING INSTRUMENT (DMI) TO MEASURE THE HORIZONTAL DISTANCE TRAVELED BY THE CAMERA. THE DMI READOUT SHALL APPEAR CONTINUOUSLY ON THE VIDEO PRODUCED BY THE INSPECTION AND SHALL BE ACCURATE TO LESS THAN 1 PERCENT ERROR OVER THE LENGTH OF THE SECTION OF PIPELINE BEING INSPECTED. FOR STORM OR SANITARY SEWERS, THE LENGTH IS MEASURED FROM THE CENTERLINE OF THE MANHOLE OR CATCH BASIN TO THE CENTERLINE OF THE NEXT

SEE SECTION S5-13 CLOSED CIRCUIT TELEVISION (CCTV) INSPECTION FOR VIDEO FORMATTING, NAMING, AND DELIVERY REQUIREMENTS.

THE CCTV INSPECTION SYSTEM SHALL BE PERFORMED UTILIZING ONE OF THE FOLLOWING VIDEO CAMERA SYSTEMS:

- REMOTE—FOCUS STATIONARY LENS CAMERAS:
- ROTATING LENS CAMERAS; OR PAN-AND-TILT CAMERAS.

MANHOLE OR CATCH BASIN.

THE CCTV CAMERA SHALL BE MOUNTED ON A SKID, FLOATABLE RAFT SYSTEM, OR TRANSPORTER BASED ON THE CONDITIONS OF THE PIPELINE TO BE TELEVISED. TELEPHONES, RADIOS, OR OTHER SUITABLE MEANS OF COMMUNICATION SHALL BE UTILIZED TO ENSURE COMMUNICATION EXISTS BETWEEN MEMBERS OF THE CREW. THE CONTRACTOR SHALL INSPECT THE PIPELINE DURING OPTIMUM LOW-FLOW LEVEL CONDITIONS, AS PRE-APPROVED BY THE UTILITY INSPECTOR. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY INSPECTOR PRIOR TO VIDEO INSPECTION. THE TELEVISION CAMERA UTILIZED SHALL BE SPECIFICALLY DESIGNED AND CONSTRUCTED FOR SEWER INSPECTION. THE CAMERA SHALL BE OPERATIVE IN 100 PERCENT HUMIDITY CONDITIONS. LIGHTING FOR THE CAMERA SHALL MINIMIZE REFLECTIVE GLARE. LIGHTING AND PICTURE QUALITY SHALL BE SUITABLE TO PROVIDE A CLEAR, IN-FOCUS PICTURE OF THE ENTIRE PERIPHERY OF THE PIPELINE FOR ALL CONDITIONS ENCOUNTERED DURING THE WORK. IF THE QUALITY OF THE VIDEO IS DEEMED TO BE UNACCEPTABLE BY THE UTILITY INSPECTOR, THE PIPELINE SHALL BE RE-TELEVISED AT NO COST TO THE CITY. THE CAMERA SHALL BE MOVED THROUGH THE PIPELINE AT A UNIFORM RATE, STOPPING WHEN NECESSARY TO ENSURE PROPER DOCUMENTATION OF THE PIPELINE CONDITION, BUT IN NO CASE SHALL THE TELEVISION CAMERA BE PULLED AT A SPEED GREATER THAN 30 FEET PER MINUTE STOPPING WHEN NECESSARY TO ENSURE PROPER DOCUMENTATION OF THE PIPE CONDITION. THE VIDEO SHALL BE TAKEN AFTER INSTALLATION, CLEANING, AND PRESSURE TEST TO INSURE THAT NO DEFECTS EXIST. THE PROJECT WILL NOT BE ACCEPTED UNTIL ALL DEFECTS HAVE BEEN REPAIRED.

- 31.WHEN WORK IS TO OCCUR IN EASEMENTS, THE CONTRACTOR SHALL NOTIFY THE EASEMENT GRANTOR AND BELLEVUE UTILITIES IN WRITING A MINIMUM OF 48 HOURS IN ADVANCE OF BEGINNING WORK (NOT INCLUDING WEEKENDS OR HOLIDAYS). FAILURE TO NOTIFY GRANTOR AND BELLEVUE UTILITIES WILL RESULT IN A STOP WORK ORDER BEING POSTED UNTIL THE MATTER IS RESOLVED TO THE SATISFACTION OF BELLEVUE UTILITIES. A WRITTEN RELEASE FROM THE EASEMENT GRANTOR SHALL BE FURNISHED TO THE UTILITY INSPECTOR PRIOR TO PERMIT SIGN-OFF.
- 32.THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY AND EXISTING PUBLIC SEWER EASEMENT(S) AFTER CONSTRUCTION TO A CONDITION EQUAL OR BETTER THAN CONDITION PRIOR TO ENTRY. THE CONTRACTOR SHALL FURNISH A SIGNED RELEASE FROM ALL AFFECTED PROPERTY OWNERS AFTER RESTORATION HAS BEEN COMPLETED.

SW 1/4, SEC 33, TWN 25 N, RGE 5 E, W.M., CITY OF BELLEVUE, KING COUNTY, WASHINGTON

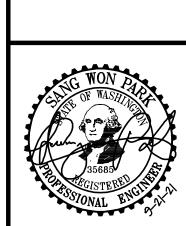
WATER GENERAL NOTES

- 1. ALL WORK SHALL CONFORM TO THE 2021 CITY OF BELLEVUE WATER ENGINEERING STANDARDS AND THE
- DEVELOPER EXTENSION AGREEMENT
- 2. ALL PIPE SHALL BE DUCTILE IRON CLASS 52 UNLESS OTHERWISE SHOWN. 3. ALL PIPE AND FITTINGS NOT TO BE DISINFECTED IN PLACE PER AWWA C651 SHALL BE SWABBED WITH 1%
- AVAILABLE CHLORINE SOLUTION PRIOR TO INSTALLATION. 4. THE NEW WATER MAIN SHALL BE CONNECTED TO THE EXISTING SYSTEM ONLY AFTER NEW MAIN IS PRESSURE TESTED, FLUSHED, DISINFECTED AND SATISFACTORY BACTERIOLOGICAL SAMPLE RESULTS ARE OBTAINED AND RECEIVED BY THE CITY'S INSPECTOR. SEE STANDARD DETAIL W-9.
- 5. AFTER DISINFECTING THE WATER MAIN, DISPOSE OF CHLORINATED WATER BY DISCHARGING TO THE NEAREST OPERATING SANITARY SEWER.
- 6. WATER MAIN SHUT-DOWNS SHALL BE COORDINATED WITH THE WATER OPERATIONS DIVISION FOR PREFERRED TIMING DURING FLOW CONTROL CONDITIONS. WATER MAIN SHUTDOWNS SHALL NOT BE SCHEDULED TO TAKE PLACE ON FRIDAYS, OR ON THE FIVE DAYS BEFORE NOR ONE DAY AFTER A CITY HOLIDAY, UNLESS OTHERWISE APPROVED BY THE UTILITY.
- 7. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN, AND TO FURTHER DISCOVER AND AVOID ANY OTHER
- UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN. 8. DEFLECT THE WATER MAIN ABOVE OR BELOW EXISTING UTILITIES AS REQUIRED TO MAINTAIN 3 FT. MINIMUM COVER AND 12-INCH MINIMUM VERTICAL CLEARANCE BETWEEN UTILITIES UNLESS OTHERWISE SPECIFIED.
- 9. WRAP ALL DUCTILE IRON PIPE AND ADJACENT VALVES AND FITTINGS WITH 8-MIL. POLYETHYLENE CONFORMING TO AWWA C105. 10. THE WATER MAIN SHALL BE INSTALLED ONLY AFTER THE ROADWAY SUBGRADE IS BACKFILLED, GRADED AND
- COMPACTED IN CUT AND FILL AREAS. 11.TRENCH BACKFILL AND SURFACE RESTORATION OF EXISTING ASPHALT PAVEMENT SHALL BE AS REQUIRED BY
- THE RIGHT-OF-WAY USE PERMIT
- 12.ALL FITTINGS SHALL BE BLOCKED PER STANDARD DETAILS UNLESS OTHERWISE SPECIFIED. 13. ALL SERVICES SHALL BE 1" X 1" PER STANDARD DETAILS UNLESS OTHERWISE SPECIFIED. ADAPTORS FOR
- 3/4" METERS SHALL BE USED WHERE APPLICABLE. 14. WHEN WORKING WITH ASBESTOS CEMENT PIPE, THE CONTRACTOR IS REQUIRED TO MAINTAIN WORKERS'
- EXPOSURE TO ASBESTOS MATERIAL AT OR BELOW THE LIMIT PRESCRIBED IN WAC 296-62-07705. 15.CALL 1-800-424-5555, OR 811, 72 HOURS BEFORE CONSTRUCTION FOR UTILITY LOCATIONS.
- 16.UNIFORM PLUMBING CODE REQUIRES THE INSTALLATION OF PRIVATELY OWNED AND OPERATED PRESSURE REDUCING VALVES WHERE THE OPERATING PRESSURE EXCEEDS 80 PSI.
- 17.THE CONTRACTOR SHALL USE A VACUUM STREET SWEEPER TO REMOVE DUST AND DEBRIS FROM PAVEMENT AREAS AS DIRECTED BY THE ENGINEER. FLUSHING OF STREETS SHALL NOT BE PERMITTED WITHOUT PRIOR CITY APPROVAL.
- 18.BEFORE COMMENCEMENT OF TRENCHING, THE CONTRACTOR SHALL PROVIDE CATCH BASIN INSERTS FOR ALL CATCH BASINS THAT WILL RECEIVE RUNOFF FROM THE PROJECT SITE. THE CONTRACTOR SHALL PERIODICALLY
- INSPECT THE CONDITION OF ALL INSERTS AND REPLACE AS NECESSARY. 19. ABANDONMENT OF EXISTING WATER SERVICES SHALL BE ACCOMPLISHED AS FOLLOWS: (SEE W5-29
- ABANDONING FACILITIES FOR OTHER FACILITY ABANDONMENT) a. REMOVE EXISTING SERVICE SADDLE FROM WATER MAIN AND REPLACE WITH NEW STAINLESS STEEL REPAIR BAND, ROMAC SS2, FORD SERVICE SADDLE FC101, CCTHREADED SADDLE AND A CC THREAD BRASS PLUG, OR APPROVED EQUAL (WILL NOT BE REQUIRED WHEN WATER MAIN IS TO BE
- ABANDONED). REMOVE AND DISPOSE OF EXISTING SETTER AND METER BOX.
- CAP OR CRIMP (IF COPPER) EXISTING SERVICE LINE TO BE ABANDONED IN PLACE, EACH END.
- RETURN EXISTING METER TO THE UTILITY INSPECTOR.
- 20. WHERE NEW UTILITY LINE CROSSES BELOW AN EXISTING AC MAIN, THE AC PIPE SHALL BE REPLACED WITH DI PIPE TO 3 FEET PAST EACH SIDE OF THE TRENCH AS SHOWN ON STANDARD DETAIL W-8. WRAP DI PIPE AND COUPLINGS WITH 8-MIL POLYETHYLENE CONFORMING TO AWWA C105. ALTERNATIVELY, WHERE DIRECTED BY THE ENGINEER, THE TRENCH SHALL BE BACKFILLED WITH CONTROLLED DENSITY FILL (CDF, AKA FLOWABLE FILL) FROM BOTTOM OF TRENCH TO THE INVERT OF THE AC MAIN.
- 21.AVOID CROSSING WATER OR SEWER MAINS AT HIGHLY ACUTE ANGLES. THE SMALLEST ANGLE MEASURE BETWEEN UTILITIES SHOULD BE 45 TO 90 DEGREES.
- 22. WHERE WATER MAIN CROSSES ABOVE OR BELOW SANITARY SEWER, ONE FULL LENGTH OF WATER PIPE SHALL
- BE CENTERED FOR MAXIMUM JOINT SEPARATION. 23.AT POINTS WHERE EXISTING THRUST BLOCKING IS FOUND, MINIMUM CLEARANCE BETWEEN THE CONCRETE
- BLOCKING AND OTHER BURIED UTILITIES OR STRUCTURES SHALL BE 5 FEET. 24. WORKERS MUST FOLLOW CONFINED SPACE REGULATIONS AND PROCEDURES WHEN ENTERING OR DOING WORK IN COB OWNED CONFINED SPACES. COMPLETED PERMIT MUST BE GIVEN TO THE UTILITIES INSPECTOR PRIOR
- 25. MANHOLES, CATCH BASINS AND VAULTS ARE CONSIDERED TO BE PERMIT-REQUIRED CONFINED SPACES. ENTRY INTO THESE SPACES SHALL BE IN ACCORDANCE WITH CHAPTER 296-809 WAC.
- 26. WHEN WORK IS TO OCCUR IN EASEMENTS, THE CONTRACTOR SHALL NOTIFY THE EASEMENT GRANTOR AND BELLEVUE UTILITIES IN WRITING A MINIMUM OF 48 HOURS IN ADVANCE OF BEGINNING WORK (NOT INCLUDING WEEKENDS OR HOLIDAYS). FAILURE TO NOTIFY GRANTOR AND BELLEVUE UTILITIES WILL RESULT IN A STOP WORK ORDER BEING POSTED UNTIL THE MATTER IS RESOLVED TO THE SATISFACTION OF BELLEVUE UTILITIES. A WRITTEN RELEASE FROM THE EASEMENT GRANTOR SHALL BE FURNISHED TO THE UTILITIES
- INSPECTOR PRIOR TO PERMIT SIGNEOFF. 27. THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY AND EXISTING PUBLIC UTILITY EASEMENT(S) AFTER CONSTRUCTION TO A CONDITION EQUAL OR BETTER THAN CONDITION PRIOR TO ENTRY. CONTRACTOR SHALL FURNISH A SIGNED RELEASE FROM ALL AFFECTED PROPERTY OWNERS AFTER RESTORATION HAS BEEN COMPLETED.

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Utilities Underground Location Center

JOB NUMBER:

Call 2 Business Days Before You Dig | | 811 or 1-800-424-5555 SHEET 11 OF 11

UTILITY NOTE

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. AGENCIES INVOLVED SHALL BE NOTIFIED WITHIN A REASONABLE TIME PRIOR TO THE START OF CONSTRUCTION.

DISCLAIMER

TOPOGRAPHIC SURVEY INFORMATION CONTAINED ON THESE PLANS HAS BEEN PROVIDED BY PACIFIC COAST SURVEYS. LDC. INC. (LAND DEVELOPMENT CONSULTANTS, INC.) ASSUMES NO LIABILITY AS TO THE ACCURACY AND COMPLETENESS OF THIS DATA. ANY DISCREPANCIES FOUND BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT IS NOTED IN THE FIELD SHOULD BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE

PRELIMINARY UNIT LOT SUBDIVISION

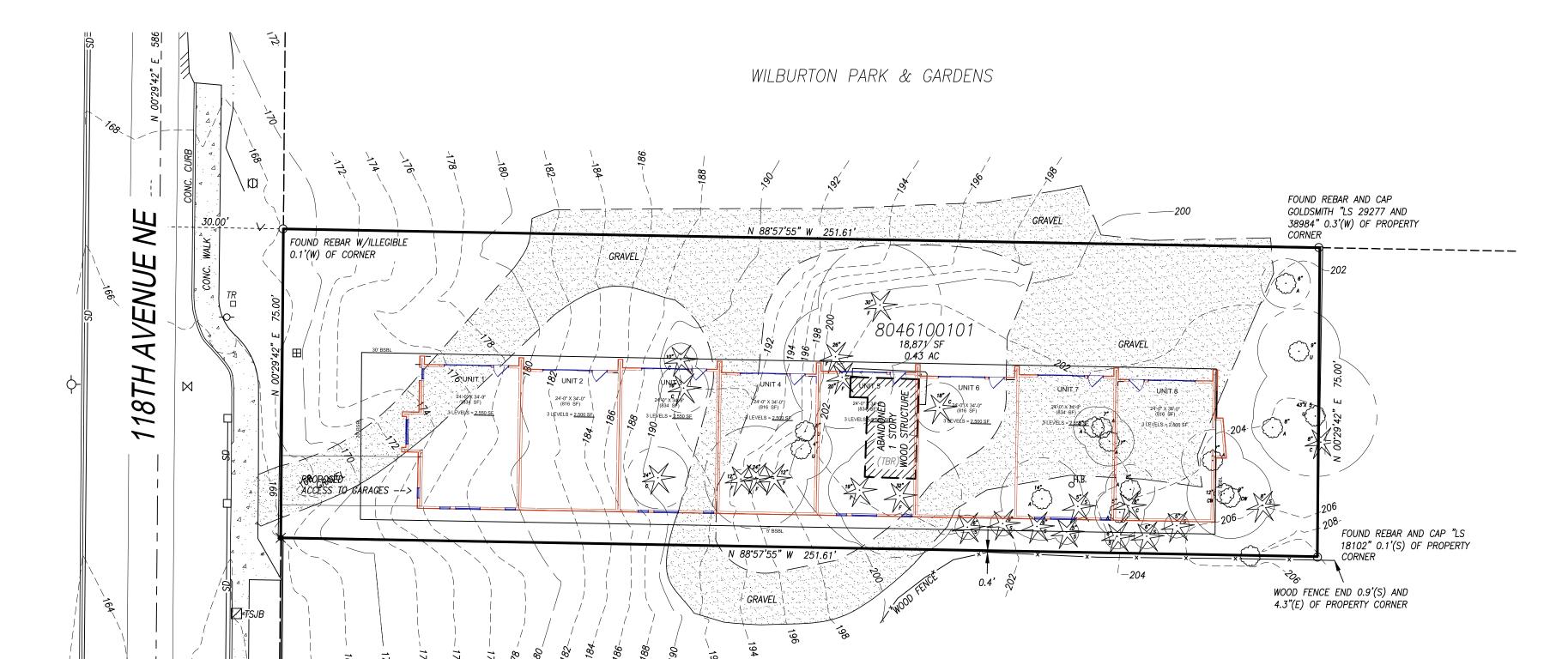
W TOWNHOMES

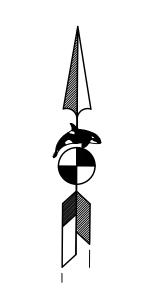
IN THE W 1/2 OF THE SE 1/4 OF SECTION 8, T.24N., R.5E., W.M. CITY OF BELLEVUE, KING COUNTY, WASHINGTON

ZONING NOTES:

REAR YARD 25'

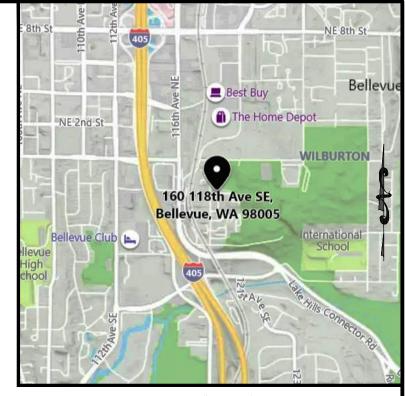
MINIMUM LOT SIZE: 13,500 SF MINIMUM DENSITY: 2.5 D.U./ACRE MINIMUM LOT WIDTH: 80' MINIMUM LOT DEPTH: 80' MAXIMUM BUILDING HEIGHT: 30/35 FEET MAXIMUM LOT COVERAGE: 35% MAXIMUM HARD SURFACE COVERAGE: 75% MAXIMUM IMPERVIOUS SURFACES: 45% SETBACKS: FRONT YARD 20' SIDE YARD 5'





GRAPHIC SCALE

SCALE: 1" = 20'



SCALE: 1" = 2000' VICINITY MAP

PROJECT DESIGN TEAM

OWNER: 118TH PARTNERS, LLC 160 – 118TH AVENUE SE BELLEVUE, WASHINGTON 98005

APPLICANT: JOHN HANSEN MEYDENBAUER GROUP 12025 WILLOWS ROAD NE REDMOND, WASHINGTON 98052 PLANNER: LAND RESOLUTIONS 3605 COLBY AVENUE EVERETT, WASHINGTON 98201 (425) 258-4438 EMAÍL: JEN@ORCALSI.COM CONTACT: JEN HAUGEN

SURVEYOR:

PACIFIC COAST SURVEYS 16300 MILL CREEK BLVD MILL CREEK, WASHINGTON 98201 (425) 512-7099 X 2112 EMAIL: DARREN@PCSURVEYS.NET CONTACT: DARREN RIDDLE, PLS

20210 142ND AVENUE NE WOODINVILLE, WASHINGTON 98072 (425) 806-1869

EMAÍL: SANG@LDCCORP.COM

CONTACT: SANG PARK, PE

ENGINEER:

GEOTECH:

RILEY GROUP 17311 — 135TH AVENUE NE, A—500 WOODINVILLE, WASHINGTON 98072 (206) 795–9128 EMAÍL: KWELLER@RILERY-GROUP.COM CONTACT: KRISTINA WELLER

TRAFFIC ENGINEER:

GIBSON TRAFFIC CONSULTANTS, INC. 2813 ROCKEFELLER AVE, SUITE B EVERETT, WASHINGTON 98201 (425) 339-8266 EMAÍL: MATT@GIBSONTRAFFIC.COM CONTACT: MATT PALMER, P.E.

ARCHITECT:

PACIFIC HOMEWORKS PO BOX 87 FREELAND, WASHINGTON 98249 (206) 250–6014 EMAIL: RDCAHILL@AOL.COM CONTACT: REED CAHILL

BIOLOGIST: TALASAEA CONSULTANTS

15020 BEAR CREEK ROAD NE, WOODINVILLE, WASHINGTON 98077 (425) 861-7550 EMAÍL: BSHIELS@TALASAEA.COM CONTACT: BILL SHIELS

ARBORIST:

GILLES CONSULTING. 12823 NE 107TH PLACE KIRKLAND, WASHINGTON 98033 (425) 822–4994 EMAİL: BKGILLES@COMCAST.NET CONTACT: BRIAN GILLES

LEGAL DESCRIPTION

THE SOUTH 75 FEET OF THE WEST 251.6 FEET OF LOT 5 STRAWBERRY LANE ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 4 OF PLATS, PAGE 30 1/2, RECORDS OF KING COUNTY, WASHINGTON.

PROJECT INFORMATION:

SITE ADDRESS: TAX NUMBER: EXISTING ZONING: PROPOSED LAND USE: COMPREHENSIVE PLAN: SEWAGE DISPOSAL: WATER SUPPLY: SCHOOL DISTRICT:

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

160 118TH AVENUE SE, BELLEVUE WA 98005 082405-9125 SINGLE FAMILY RESIDENTIAL

SF-M (MEDIUM DENSITY UP TO 3.5 UNITS PER ACRE) CITY OF BELLEVUE CITY OF BELLEVUE BELLEVUE SCHOOL DISTRICT #405 BELLEVUE FIRE DISTRICT

FIRE DISTRICT: GROSS SITE AREA 18,817 SF 0.43 ACRES TOTAL LOTS PROPOSED 18.60 D.U. PER ACRE GROSS DENSITY $(2 \setminus 0.62)$

PROJECT NOTES: 1) PROJECT SHALL BE CONSTRUCTED IN ONE PHASE. 2) TOWNHOMES ARE PROPOSED WITHIN THIS SUBDIVISION. 3) FIRE HYDRANT IS LOCATED APPROXIMATELY APPROXIMATELY 10'N AND 1'W OF THE NORTHWEST PROPERTY CORNER OF OUR SITE ON THE SOUTH SIDE OF SE LAKE ROAD. 4) 10' UTILITIES EASEMENT ABUTTING ROAD FRONTAGE AND ACCESS EASEMENT ON ALL LOTS AT TIME OF RECORDING. 5) NO WETLANDS ON SITE.

ARCHEOLOGICAL NOTE: IF AT ANY TIME DURING CONSTRUCTION ARCHEOLOGICAL RESOURCES ARE OBSERVED ON THE PROJECT SITE, WORK SHALL BE TEMPORARILY SUSPENDED AT THE LOCATION OF DISCOVERY AND A PROFESSIONAL ARCHAEOLOGIST SHOULD DOCUMENT AND ASSESS THE DISCOVERY. THE DEPARTMENT OF ARCHEOLOGY AND HISTORIC PRESERVATION (DAHP) AND ALL CONCERNED TRIBES MUST BE CONTACTED FOR ANY ISSUES INVOLVING NATIVE AMERICAN SÍTES. IF PROJECT ACTIVITIES EXPOSE HUMAN REMAINS, EITHER IN THE FORM OF BURIALS OR ISOLATED BONES OR TEETH, OR OTHER MORTUARY ITEMS, WORK IN THAT AREA MUST BE STOPPED IMMEDIATELY. LOCAL LAW ENFORCEMENT, DAHP, AND AFFECTED TRIBES MUST BE IMMEDIATELY CONTACTED. NO ADDITIONAL EXCAVATION MAY BE UNDERTAKEN UNTIL A PROCESS HAS BEEN AGREED UPON BY THESE PARTIES, AND NO EXPOSED HUMAN REMAINS MAY BE LEFT UNATTENDED.

LEGEND

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—— G —— GAS LINE

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____SS ____ SEWER LINE

ROCKERY

FOUND REBAR OR IRON PIPE AS NOTED

M MEASURED DIMENSION

LIGHT

POWER METER

TELEPHONE RISER

CATCH BASIN (CB)

CLEANOUT (AS NOTED)

WATER VALVE (WV)

IRRIGATION CONTROL VALVE

GRAVEL/SAND (AS NOTED)

FIRE HYDRANT(FH) / CONNECTION(FDC)

POWER POLE

GAS METER

GAS VALVE

WATER METER

SIGN

MAILBOX CONCRETE

ASPHALT

WATER LINE

CONIFER TREE DECIDUOUS TREE

FENCE

— OH — OVERHEAD UTILITY LINES

D BEARING AND OR DIMENSION PER LEGAL DESCRIPTION

JUNCTION BOX (AS NOTED)





LAND USE CONSULTANTS Design • Planning • Management 3605 Colby Avenue - Everett, WA 98201 tele (425) 258-4438 - fax (425) 258-1616 jen@orcalsi.com

PRELIMINARY UNIT LOT SUBDIVISION W TOWNHOMES

> IN THE W 1/2 OF THE SE 1/4 OF SECTION 8, T.24N., R.5E., W.M. CITY OF BELLEVUE, KING COUNTY, WASHINGTON

PROJECT: 2021-056 | DWG BY: JLH DATE: 9/23/2021 REV: